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SIGNAL HILL CITY HALL LOBBY MODERNIZATION

2175 CHERRY AVE, SIGNAL HILL, CA 90755

CONSULTANT

AGENCY

PROJECT GENERAL NOTES

USE OF PLANS: THESE PLANS ARE THE PROPERTY OF RRM AND MAY NOT BE USED WITHOUT THE EXPRESS, WRITTEN CONSENT.

- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PRECEDING AT HIS/HER OWN RISK.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF FRAMING.
- IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
- CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS.
- TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS. SUCH FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS, FANS, WATER, PHONES, FENCES, SIGNS, SHEDS, ETC. REMOVE FROM SITE UPON COMPLETION OF WORK. OBTAIN BUILDING OFFICIAL OR FIRE MARSHAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
- CONTRACTOR SHALL PROVIDE FOR PROTECTION AND SAFETY: RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACING, ANCHORAGE, FIRE-EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY PER LOCAL, STATE AND FEDERAL REQUIREMENTS (INCLUDING EARTHQUAKES, FIRES, SPILLS, ACCIDENTS, EROSION, MUD, DUST, ETC.).
- CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
- A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO ENSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT.
- SHOP WELDS MUST BE PERFORMED BY A LICENSED FABRICATOR'S SHOP.

PROJECT DIRECTORY

APPLICANT	ARCHITECT
SIGNAL HILL CITY HALL 2175 Cherry Ave. Signal Hill, CA 90755 Thomas Bekele tbekele@cityofsignalhill.org 562-989-7355	RRM DESIGN GROUP 3765 S. Higuera St. Suite 102 San Luis Obispo, CA 93401 Julia Powers jpowers@rmdesign.com (805) 543-1794

UTILITIES

UTILITY	PROVIDER
WATER SERVICE	CITY OF SIGNAL HILL
SEWER SERVICE	LACSD
ELECTRICAL SERVICE	SCE
GAS SERVICE	LONG BEACH GAS
TELEPHONE SERVICE	FRONTIER
GARBAGE SERVICE	EDCO Disposal
CABLE SERVICE	SPECTRUM

VICINITY MAP



PROJECT INFORMATION

- PROJECT SCOPE**
- MODERNIZATION OF 2ND FLOOR LOBBY
 - MODERNIZATION OF 1ST, 2ND AND 3RD FLOOR RAILINGS
 - 1ST AND 2ND COUNTER WALL MODERNIZATION
 - DOOR AND WINDOW UPGRADES AND REPLACEMENTS
 - OFFICE LIGHTING AND HVAC ADJUSTMENTS
 - CHAMBER CEILING TILES, DAIS UPGRADES AND LIGHT FIXTURES UPDATES
 - BREAK AREA AND CONFERENCE ROOM CASEWORK FINISH UPDATE
 - RESTROOM TILE FINISH UPDATE

DESCRIPTION

OCCUPANCY:	B, A-3, S
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERED:	NO
BUILDING HEIGHT:	46' - 4"
NUMBER OF STORIES:	3
BUILDING AREA:	16,764 SF

SITE INFORMATION:

STREET ADDRESS:	2175 CHERRY AVE. SIGNAL HILL, CA 90755
APN:	053-153-010
ZONING:	
LOT SIZE:	

BUILDING INFORMATION:

NUMBER OF STORIES:	3
OCCUPANCY GROUP:	NO
SPRINKLERED:	NO
HIGH FIRE ZONE:	NO

AREA OF WORK

EXTERIOR AND INTERIOR WALLS	VARIES
LOBBY	298 SF
COUNCIL CHAMBERS	1,130 SF
CONFERENCE ROOM	544 SF
KITCHEN	308 SF
PRIVATE OFFICES	VARIES

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SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
TITLE SHEET

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
JP

DRAWN BY SD, DDA, AK **CHECKED BY** JP

DATE
09/27/2024

PROJECT NUMBER
3090-01-CU23

SHEET
G-001

GENERAL NOTES

USE OF PLANS: THESE PLANS ARE THE PROPERTY OF RRM AND MAY NOT BE USED WITHOUT THE EXPRESS, WRITTEN CONSENT.

THESE NOTES APPLY TO ALL PORTIONS, PHASES AND SUBCONTRACTORS OF THIS PROJECT.

APPLICABLE CODES ARE STANDARDS:

- 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
2022 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS.
CURRENT CITY OF ARROYO GRANDE MUNICIPAL CODE.

- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS.
DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION.
IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE...
CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION...
CONTRACTOR SHALL PROVIDE FOR PROTECTION AND SAFETY. RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACING, ANCHORAGE, FIRE-EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF THE PUBLIC...
CONTRACTOR SHALL APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR...
SHOP WELDS MUST BE PERFORMED BY A LICENSED FABRICATOR'S SHOP.
ALL HORIZONTAL CEILING DRYWALL APPLIED TO TRUSSES SHALL BE 5/8" GYPSUM BOARD.
ALL EXTERIOR WINDOWS PER OWNER SPECS. REFER TO PLANS FOR SIZE AND EXTERIOR ELEVATIONS FOR ALL GRIDS & COLORS.
WATER HEATING (REFER TO BUILDING ANALYSIS REPORT)
WRAPPED WITH R-4 OR GREATER (FIRST 5 FEET IN UNCONDITIONED SPACES).
PROVIDE A TEMPERATURE AND PRESSURE RELIEF VALVE WITH A FULL SIZE DRAIN OR GALVANIZED STEEL DRAIN...
COMBUSTION AIR PER MANUFACTURE REQUIREMENTS.
CLEARANCES PER MANUFACTURE REQUIREMENTS.
THE BURNERS AND BURNER IGNITION DEVICES SHALL BE LOCATED 18" ABOVE THE GARAGE FLOOR...
WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION.
WHEN INSTALLED IN A GARAGE THE WATER HEATER SHALL BE GUARDED AGAINST DAMAGE.
PROVIDE WATER RESISTIVE BARRIER, WHEN PLASTER IS INSTALLED OVER WOOD BASED SHEATHING, BARRIER SHALL COMPLY WITH 2022 CBC SECTIONS 2510.6.1 OR 2510.6.2.
CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER...
FIRE DOOR OR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80...
SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION 2022 CBC 716.2.9.1 AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL...
PER 2022 CBC 716.2.9.1, FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION READILY TRACEABLE BACK TO THE MANUFACTURER...
GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2022 CBC CHAPTER 24 - SAFETY GLAZING...
GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2022 CBC 716.1.2 IN ADDITION TO THE REQUIREMENTS OF SECTIONS 2022 CBC 716.2 AND 2022 CBC 716.3 RESPECTIVELY, AND NFPA 80...
IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST...
FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN 2022 CBC 716.2.5.1.2.1 AND 716.2.5.1.2.2

ENERGY CODE MANDATORY FEATURES

- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WETHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS.
PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN.
ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.
THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS.
ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.

DOORS

- EGRESS DOORS (2022 CBC 1010.1)
MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF 2022 CBC 1010.1
DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREAS CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP 1 OCCUPANCY
ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE
DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES.
EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT EXCEPT AS SPECIFICALLY PERMITTED PER 2022 CBC 1010.2.
THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION EXCEPT AS NOTED PER 2022 CBC 1010.2.1.
SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR C OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, I-2 OR I-2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE EXCEPT AS NOTED PER 2022 CBC 1010.2.9.
EXIT OR EXIT ACCESS DOORS SERVING TRANSFORMER VAILTS, ROOMS DESIGNATED FOR BATTERIES OR ENERGY STORAGE SYSTEMS, OR MODULAR DATA CENTERS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE.
REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND M OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH 2022 CALIFORNIA REFERENCED STANDARDS CODE SFM STANDARD 12-10-2022
HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR BURRED EDGES
LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR FACE
ACCESSIBILITY REQUIREMENTS AT DOORS, DOORWAYS, AND GATES (2022 CBC 11B-404)
MINIMUM CLEAR WIDTH AT ACCESSIBLE DOORS IS 32" MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP.
MANEUVERING CLEARANCES SHALL COMPLY WITH (2022 CBC 11B-404.2.4). REFER TO PLANS FOR MINIMUM CLEARANCES.
THRESHOLDS SHALL BE 1/2" HIGH MAX (2022 CBC 11B-404.2.5). REFER TO DOOR DETAILS.
MAXIMUM DOOR OPENING FORCE OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS, AND AS ALLOWABLE BY THE ADMINISTRATIVE AUTHORITY AT FIRE DOORS (NOT TO EXCEED 15 LBS).
HAND-ACTIVATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE
OPERABLE PARTS SHALL BE BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR
CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM
SWINGING DOOR AND GATE SURFACES WITHIN 1/4" OF THE FF OR GROUND SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE EXCEPT AS NOTED
OPENING PROTECTIVES AND FIRE DOOR ASSEMBLIES (2022 CBC 716 AND NFPA 80)
FIRE DOORS SHALL COMPLY WITH THE PROVISIONS OF 2022 CBC 716 AND NFPA 80
FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING PER 2022 CBC 716.2.6.1
SIDE-HINGED DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C
UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF SIDE-HINGES SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED
FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST EXCEPT AS NOTED PER 2022 CBC 716.2.2.1
FIRE DOOR ASSEMBLIES THAT SERVE AS SMOKE AND DRAFT CONTROL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH UL 1784
FIRE DOOR OR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR OR FRAME
SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION 2022 CBC 716.2.9.1 AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL OF THE DOOR PER 2022 CBC 716.2.9.3
PER 2022 CBC 716.2.9.1, FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION READILY TRACEABLE BACK TO THE MANUFACTURER, THE NAME OR TRADEMARK OF THE THIRD-PARTY INSPECTION AGENCY, THE FIRE PROTECTION RATING AND, WHERE REQUIRED FOR FIRE DOORS THAT EXIST STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS BY
GLAZING
GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2022 CBC CHAPTER 24 - SAFETY GLAZING. LOCATIONS TO BE NOTED WITH "T"
GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2022 CBC 716.1.2 IN ADDITION TO THE REQUIREMENTS OF SECTIONS 2022 CBC 716.2 AND 2022 CBC 716.3 RESPECTIVELY, AND NFPA 80
IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST
FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN 2022 CBC 716.2.5.1.2.1 AND 716.2.5.1.2.2

WINDOWS

- WINDOWS IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS.
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION
EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF
EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
ONE OR MORE WALKING SURFACE(S) WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDING BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER 2022 CBC 2406.4.6
GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER 2022 CBC 2406.4.7
AT HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING, PROVIDE IDENTIFICATION FOR EACH PANE PER
EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX SILL HEIGHT OF 44" AFF. MIN NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 SF. EXCEPTION: MIN 5 SF AT GROUND FLOOR, MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20". EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
WINDOWS IN GROUP R-1, R-2, AND R-3 BUILDINGS INCLUDING DWELLING UNITS WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW IS LOCATED LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING PER 2022 CBC 1015.8:
OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION
OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090
OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH 2022 CBC SECTION 1015.8.1
VERIFY ALL DIMENSIONS AND FIELD VERIFY EXTERIOR FINISH GRADE ELEVATIONS AT EACH BUILDING FOR EACH STAIR
HANDRAIL: HEIGHT SHALL BE MIN. 34", MAX. 38" ABOVE STAIR NOSING
THE HAND GRIP PORTION OF THE HANDRAIL SHALL BE: TYPE 1: A MINIMUM DIAMETER OF 1-1/4" AND A MAXIMUM DIAMETER OF 2" IN CROSS SECTION DIMENSION
TYPE 2: A PERIMETER GREATER THAN 6 1/4" SHALL PROVIDE A GRASPABLE FINGER REST AREA ON BOTH SIDES OF THE PROFILE
HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS WHERE REQUIRED BY
HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12" MIN BEYOND THE TOP OF RAMP RUNS.
HEADROOM: PROVIDE A MINIMUM OF 80" (6'-8") CLEAR ABOVE ALL PORTIONS OF THE STAIRS AND LANDINGS. THIS DIMENSION SHALL BE MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.
GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH, MEASURED VERTICALLY.
FOR REQUIRED GUARDS, INTERMEDIATE MEMBERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS ON THE OPEN SIDES OF STAIRS ALSO SERVING AS A HANDRAIL SHALL BE NOT LESS THAN 34" OR MORE THAN 38"
USABLE SPACE UNDER STAIRS SHALL BE PROTECTED WITH 1/2" TYPE X GYPSUM BOARD OR ANOTHER ACCEPTABLE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER.
MINIMUM TREAD DEPTH SHALL BE 10" (INTERIOR OF UNITS) AND 11" (EXTERIOR OF UNITS).
MAXIMUM RISE SHALL BE 7/8" (INTERIOR OF UNITS) AND 7" (EXTERIOR OF UNITS).
MAXIMUM VARIATION OF 3/8"
MAXIMUM RISE SHALL BE 7/8" (INTERIOR OF UNITS) AND 7" (EXTERIOR OF UNITS).
MAXIMUM VARIATION OF 3/8"
STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A MINIMUM CLEAR WIDTH OF 36".
RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL NOT BE LESS THAN 1/16" AND NOT GREATER THAN 9/16".
NOSING PROJECTIONS: THE LEADING EDGES OF TREADS SHALL NOT BE MORE THAN 1/4" BEYOND THE TREAD BELOW.
EXTERIOR LANDING OF EXTERIOR STAIR SHALL NOT HAVE A SLOPE OF MORE THAN 1/4" PER FOOT FOR DRAINAGE. COORDINATE WITH CIVIL DWGS.
INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MIN OF 2" WIDE TO A MAX OF 4" WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROUND SHALL NOT BE USED TO SATISFY THIS REQUIREMENT.

STAIRS AND HANDRAILS NOTES

- VERIFY ALL DIMENSIONS AND FIELD VERIFY EXTERIOR FINISH GRADE ELEVATIONS AT EACH BUILDING FOR EACH STAIR
HANDRAIL: HEIGHT SHALL BE MIN. 34", MAX. 38" ABOVE STAIR NOSING
THE HAND GRIP PORTION OF THE HANDRAIL SHALL BE: TYPE 1: A MINIMUM DIAMETER OF 1-1/4" AND A MAXIMUM DIAMETER OF 2" IN CROSS SECTION DIMENSION
TYPE 2: A PERIMETER GREATER THAN 6 1/4" SHALL PROVIDE A GRASPABLE FINGER REST AREA ON BOTH SIDES OF THE PROFILE
HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS WHERE REQUIRED BY
HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12" MIN BEYOND THE TOP OF RAMP RUNS.
HEADROOM: PROVIDE A MINIMUM OF 80" (6'-8") CLEAR ABOVE ALL PORTIONS OF THE STAIRS AND LANDINGS. THIS DIMENSION SHALL BE MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS.
GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH, MEASURED VERTICALLY.
FOR REQUIRED GUARDS, INTERMEDIATE MEMBERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS ON THE OPEN SIDES OF STAIRS ALSO SERVING AS A HANDRAIL SHALL BE NOT LESS THAN 34" OR MORE THAN 38"
USABLE SPACE UNDER STAIRS SHALL BE PROTECTED WITH 1/2" TYPE X GYPSUM BOARD OR ANOTHER ACCEPTABLE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER.
MINIMUM TREAD DEPTH SHALL BE 10" (INTERIOR OF UNITS) AND 11" (EXTERIOR OF UNITS).
MAXIMUM RISE SHALL BE 7/8" (INTERIOR OF UNITS) AND 7" (EXTERIOR OF UNITS).
MAXIMUM VARIATION OF 3/8"
STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A MINIMUM CLEAR WIDTH OF 36".
RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL NOT BE LESS THAN 1/16" AND NOT GREATER THAN 9/16".
NOSING PROJECTIONS: THE LEADING EDGES OF TREADS SHALL NOT BE MORE THAN 1/4" BEYOND THE TREAD BELOW.
EXTERIOR LANDING OF EXTERIOR STAIR SHALL NOT HAVE A SLOPE OF MORE THAN 1/4" PER FOOT FOR DRAINAGE. COORDINATE WITH CIVIL DWGS.
INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MIN OF 2" WIDE TO A MAX OF 4" WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROUND SHALL NOT BE USED TO SATISFY THIS REQUIREMENT.

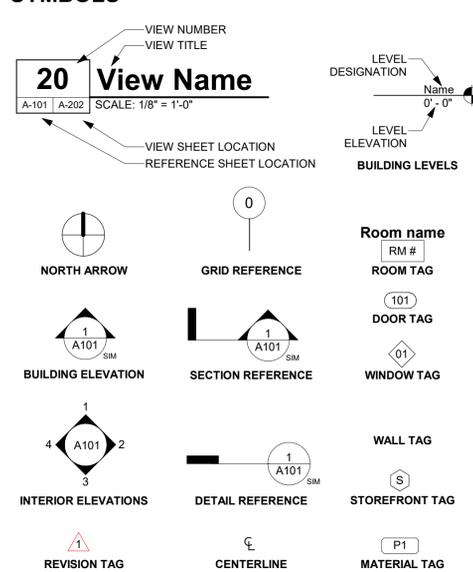
ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes terms like AIR CONDITIONING, ABOVE, ACOUS, ACCT, ADA, AFCE, AFF, AL, ALUMINIUM, ALT, ARCH, BD, BDRM, BET, BIT, BLDG, BLKG, BLW, BM, BOT, BUR, CB, CBC, CEM, CFM, CIP, CL, CLJ, CLR, CMU, COL, COL, CONC, CONST, CONT, CONTR, CPT, CTR, DBL, DIA, DIM, DIN, DW, DWG, (E), EA, EAJ, EL, ELEV, ELEC, ENCL, EQ, EQUIP, EXH, EXP, EXT, FACP, FAU, FAWP, FD, FDC, FE, FEC, FF, FH, FHC, FIN, FIXT, FLR, FLUOR, FND, FO, FOC, FOF, FOIC, FOM, FACE OF MASONRY, FOS, FACE OF STUD, FRP, FIBERGLASS REINFORCED PANELS, FT, FOOT OR FEET, FTG, FOOTING, GA, GAUGE, GAGE, GALV, GALVANIZED, GB, GRAB BAR, GC, GENERAL CONTRACTOR, GFCEI, GROUND FAULT CIRCUIT INTERRUPTER, GT, GROUT, GWB, GYPSUM BOARD, GYP, GYPSUM, HB, HOSE BIBB, HC, HOLLOW CORE, HDWD, HARDWOOD, HDWR, HARDWARE, HGT, HEIGHT, HM, HOLLOW METAL, HORIZ, HORIZONTAL, HVAC, HEATING, VENTILATION, A/C, ID, INSIDE DIAMETER, IC, IMPACT INSULATION CLASS, IN, INCH, INCAND, INCANDESCENT, INSUL, INSULATION, INSULATED, INT, INTERIOR, JC, JANITORS CLOSET, JT, JOINT, LAM, LAMINATE, LAV, LAVATORY, LBS, POUNDS, LEED, LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN, LF, LINEAR FEET, LIN, LINEN CLOSET, LINO, LINOLEUM, LT(G), LIGHT(ING), LVL, LAMINATED VENEER LUMBER, LVT, LUXURY VINYL TILE, LW, LIGHTWEIGHT, MAX, MAXIMUM, MDX, MEDIUM DENSITY FIBERBOARD, MECH, MECHANICAL, MEMB, MEMBRANE, MEP, MECHANICAL, ELECTRICAL, PLUMBING, MFR, MANUFACTURER, MIN, MINIMUM, MISC, MISCELLANEOUS, MO, MASONRY OPENING, MTD, MOUNTED, METL, METAL, N, NORTH, NIC, NOT IN CONTRACT, NO, NUMBER, NOM, NOMINAL, NTS, NOT TO SCALE, O.P., OVERFLOW PIPE, OC, ON CENTER, OD, OVERFLOW DRAIN, OFF, OFFICE, OH, OPPOSITE HAND, OPP, OPENING, OPG, OPPOSITE, (P), PROPOSED, PERM, PERIMETER, PERP, PERPENDICULAR, PG, PAINT GRADE, PL, PLATE, PROPERTY LINE, PLAM, PLASTIC LAMINATE, PLBG, PLUMBING, PLYWD, PLYWOOD, PNL, PANEL, PP, POWER POLE, PR, PAIR, PRTN, PARTITION, PSF, POUNDS PER SQUARE FOOT, PSL, POUNDS PER SQUARE INCH, PAR, PARALLEL, STRAINE LUMBER, PT, PRESSURE TREATED, PTD, PAINTED, PV, PHOTO VOLT/CAIC, PVC, POLYVINYL CHLORIDE

SITE ACCESSIBILITY

- ACCESSIBLE PATH OF TRAVEL
THE ACCESSIBLE ROUTES OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES, SURFACE IS STABLE AND SLIP RESISTANT. THIS PATH SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN AND PROTRUDING OBJECTS GREATER THAN A 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
ACCESSIBLE ROUTES SHALL BE PROVIDED WHERE REQUIRED BY
SITE ARRIVAL POINTS: AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER DROP-OFF AND LOADING ZONES; PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE.
WITHIN A SITE, AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE EXCEPT AS NOTED PER
FLOOR AND GROUND SURFACES: FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT PER
OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2 INCH DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
CHANGES IN LEVELS: VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
PROTRUDING OBJECTS: PROTRUDING OBJECTS OR CIRCULATION PATHS SHALL COMPLY WITH
OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" AFF OR GROUND SHALL PROTRUDE 4" MAXIMUM INTO THE CIRCULATION PATH. HANDRAILS SHALL BE PERMITTED TO PROTRUDE 4 1/2" MAXIMUM.
FREE STANDING OBJECTS MOUNTED ON POSTS SHALL OVERHANG CIRCULATION PATHS 12" MAX WHEN LOCATED 27" MIN AND 80" MAX AFF. WHERE A SIGN OR OBSTRUCTION IS MOUNTED BTWN POSTS AND THE CLEAR DISTANCE BTWN POSTS IS GREATER THAN 12", THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27" MAX OR 80" MIN AFF.

SYMBOLS



THE INCLUDED DRAWINGS, SPECIFICATIONS, SEALS, ORDERS AND AMENDMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF RRM DESIGN GROUP. THIS CONTRACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE CONDITIONS. EXEMPTION OF THESE DOCUMENTS FOR PUBLIC ACCESS SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS. RRM DESIGN GROUP COPYRIGHT 2022. RRM IS A CALIFORNIA CORPORATION

Table with columns: CONSULTANT, AGENCY

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
GENERAL INFORMATION

Table with columns: NO., REVISION, DATE

PROJECT MANAGER: JP
DRAWN BY: SD, DDA, AK
CHECKED BY: JP
DATE: 09/27/2024
PROJECT NUMBER: 3090-01-CU23
SHEET: G-002

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (JANUARY 2023)



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CHAPTER 1 - ADMINISTRATION

SECTION 101 GENERAL

101.1 TITLE.
THESE REGULATIONS SHALL BE KNOWN AS THE CALIFORNIA GREEN BUILDING STANDARDS CODE AND MAY BE CITED AS SUCH AND WILL BE REFERRED TO HEREIN AS "THIS CODE." IT IS INTENDED THAT IT SHALL ALSO BE KNOWN AS THE CALGREEN CODE. THE CALIFORNIA GREEN BUILDING STANDARDS CODE IS PART 11 OF THIRTEEN PARTS OF THE OFFICIAL COMPILATION AND PUBLICATION OF THE ADOPTION, AMENDMENT AND REPEAL OF BUILDING REGULATIONS TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, ALSO REFERRED TO AS THE CALIFORNIA BUILDING STANDARDS CODE.

101.2 PURPOSE.
THE PURPOSE OF THIS CODE IS TO IMPROVE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE BY ENHANCING THE DESIGN AND CONSTRUCTION OF BUILDINGS THROUGH THE USE OF BUILDING MEASURES HAVING A REDUCED NEGATIVE IMPACT OR POSITIVE ENVIRONMENTAL IMPACT AND ENCOURAGING SUSTAINABLE CONSTRUCTION PRACTICES IN THE FOLLOWING CATEGORIES:
1. PLANNING AND DESIGN.
2. ENERGY EFFICIENCY.
3. WATER EFFICIENCY AND CONSERVATION.
4. MATERIAL CONSERVATION AND RESOURCE EFFICIENCY.
5. ENVIRONMENTAL QUALITY.

101.3 SCOPE.
THE PROVISIONS OF THIS CODE SHALL APPLY TO THE PLANNING, DESIGN, OPERATION, CONSTRUCTION, USE AND OCCUPANCY OF EVERY NEWLY CONSTRUCTED BUILDING OR STRUCTURE, UNLESS OTHERWISE INDICATED IN THIS CODE, THROUGHOUT THE STATE OF CALIFORNIA. IT IS NOT THE INTENT THAT THIS CODE SUBSTITUTE OR BE IDENTIFIED AS MEETING THE CERTIFICATION REQUIREMENTS OF ANY GREEN BUILDING PROGRAM.

SECTION 102 CONSTRUCTION DOCUMENTS AND INSTALLATION VERIFICATION

102.1 SUBMITTAL DOCUMENTS.
CONSTRUCTION DOCUMENTS AND OTHER DATA SHALL BE SUBMITTED IN ONE OR MORE SETS WITH EACH APPLICATION FOR A PERMIT, WHERE SPECIAL CONDITIONS EXIST, THE ENFORCING AGENCY IS AUTHORIZED TO REQUIRE ADDITIONAL CONSTRUCTION DOCUMENTS TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL AND MAY BE SUBMITTED SEPARATELY.

EXCEPTION: THE ENFORCING AGENCY IS AUTHORIZED TO WAIVE THE SUBMISSION OF CONSTRUCTION DOCUMENTS AND OTHER DATA NOT REQUIRED TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL.

102.2 INFORMATION ON CONSTRUCTION DOCUMENTS.
CONSTRUCTION DOCUMENTS SHALL BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND SCOPE OF THE PROPOSED GREEN BUILDING FEATURE AND SHOW THAT IT WILL CONFORM TO THE PROVISIONS OF THIS CODE, THE CALIFORNIA BUILDING STANDARDS CODE AND OTHER RELEVANT LAWS, ORDINANCES, RULES AND REGULATIONS AS DETERMINED BY THE ENFORCING AGENCY.

102.3 VERIFICATION.
DOCUMENTATION OF CONFORMANCE FOR APPLICABLE GREEN BUILDING MEASURES SHALL BE PROVIDED TO THE ENFORCING AGENCY. ALTERNATE METHODS OF DOCUMENTATION SHALL BE ACCEPTABLE WHEN THE ENFORCING AGENCY FINDS THAT THE PROPOSED ALTERNATE DOCUMENTATION IS SATISFACTORY TO DEMONSTRATE SUBSTANTIAL CONFORMANCE WITH THE INTENT OF THE PROPOSED GREEN BUILDING MEASURE.

CHAPTER 3 - GREEN BUILDING

SECTION 301 GENERAL

301.1 SCOPE.
BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATION CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE, BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY, COUNTY, OR CITY AND COUNTY AS SPECIFIED IN SECTION 101.7.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS [BSC-C6] THE PROVISIONS OF INDIVIDUAL SECTIONS OF CHAPTER 5 APPLY TO NEWLY CONSTRUCTED BUILDINGS, BUILDING ADDITIONS OF 1,000 SQUARE FEET OR GREATER, AND/OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF \$200,000 OR ABOVE (FOR OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION) CODE SECTIONS RELEVANT TO ADDITIONS AND ALTERATIONS SHALL ONLY APPLY TO THE PORTIONS OF THE BUILDING BEING ADDED OR ALTERED WITHIN THE SCOPE OF THE PERMITTED WORK.

A CODE SECTION WILL BE DESIGNATED BY A BANNER TO INDICATE WHERE THE CODE SECTION ONLY APPLIES TO NEWLY CONSTRUCTED BUILDINGS [N] OR TO ADDITIONS AND/OR ALTERATIONS [A], WHEN THE CODE SECTION APPLIES TO BOTH, NO BANNER WILL BE USED.

301.3.1 NONRESIDENTIAL ADDITIONS AND ALTERATIONS THAT CAUSE UPDATES TO PLUMBING FIXTURES ONLY:
NOTE: ON AND AFTER JANUARY 1, 2014, CERTAIN COMMERCIAL REAL PROPERTY, AS DEFINED IN CIVIL CODE SECTION 1101.3, SHALL HAVE ITS NONCOMPLIANT PLUMBING FIXTURES REPLACED WITH APPROPRIATE WATER-CONSERVING PLUMBING FIXTURES UNDER SPECIFIC CIRCUMSTANCES. SEE CIVIL CODE SECTION 1101.1 ET SEQ. FOR DEFINITIONS, TYPES OF COMMERCIAL REAL PROPERTY AFFECTED, EFFECTIVE DATES, CIRCUMSTANCES NECESSITATING REPLACEMENT OF NONCOMPLIANT PLUMBING FIXTURES, AND DUTIES AND RESPONSIBILITIES FOR ENSURING COMPLIANCE.

301.3.2 WASTE DIVERSION
THE REQUIREMENTS OF SECTION 5.408 SHALL BE REQUIRED FOR ADDITIONS AND ALTERATIONS WHENEVER A PERMIT IS REQUIRED FOR WORK.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES (SEE GBSC)

301.5 HEALTH FACILITIES (SEE GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS.
IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS.
FOR SHELL BUILDINGS AND OTHERS CONSTRUCTED FOR FUTURE TENANT IMPROVEMENTS, ONLY THOSE CODE MEASURES RELEVANT TO THE BUILDING COMPONENTS AND SYSTEMS CONSIDERED TO BE NEW CONSTRUCTION (OR NEWLY CONSTRUCTED) SHALL APPLY.

303.1.1 INITIAL TENANT IMPROVEMENTS
THE PROVISIONS OF THIS CODE SHALL APPLY ONLY TO THE INITIAL TENANT IMPROVEMENTS TO A PROJECT. SUBSEQUENT TENANT IMPROVEMENTS SHALL COMPLY WITH THE SCOPING PROVISIONS IN SECTION 301.3 NON-RESIDENTIAL ADDITIONS AND ALTERATIONS.

CHAPTER 5 - NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

5.106 SITE DEVELOPMENT

5.106.1 STORMWATER POLLUTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND
NEWLY CONSTRUCTED PROJECTS AND ADDITIONS WHICH DISTURB LESS THAN ONE ACRE OF LAND AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE SHALL PREVENT THE POLLUTION OF STORMWATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES THROUGH ONE OR MORE OF THE FOLLOWING MEASURES:

5.106.1.1 LOCAL ORDINANCE
COMPLY WITH A LAWFULLY ENACTED STORMWATER MANAGEMENT AND/OR EROSION CONTROL ORDINANCE.

5.106.1.2 BEST MANAGEMENT PRACTICES (BMP'S)
PREVENT THE LOSS OF SOIL THROUGH WIND OR WATER EROSION BY IMPLEMENTING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL AND GOOD HOUSEKEEPING BMP'S.

- SOIL LOSS BMP'S THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - SCHEDULING CONSTRUCTION ACTIVITY DURING DRY WEATHER, WHEN POSSIBLE.
 - PRESERVATION OF NATURAL FEATURES, VEGETATION, SOIL AND BUFFERS AROUND SURFACE WATERS.
 - DRAINAGE SWALES OR LINED DITCHES TO CONTROL STORMWATER FLOW.
 - MULCHING OR HYDROSEEDING TO STABILIZE DISTURBED SOILS.
 - EROSION CONTROL TO PROTECT SLOPES.
 - PROTECTION OF STORM DRAIN INLETS (GRAVEL BAGS OR CATON BASIN INSERTS)
 - PERIMETER SEDIMENT CONTROL (PERIMETER SILT FENCE, FIBER ROLLS).
 - SEDIMENT TRAP OR SEDIMENT BASIN TO RETAIN SEDIMENT ON SITE.
 - STABILIZED CONSTRUCTION EXITS.
 - WIND EROSION CONTROL.
 - OTHER SOIL LOSS BMP'S ACCEPTABLE TO THE ENFORCING AGENCY.

- GOOD HOUSEKEEPING BMP'S TO MANAGE CONSTRUCTION EQUIPMENT, MATERIALS, NON-STORMWATER DISCHARGES, AND WASTES THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEWATERING ACTIVITIES.
 - MATERIAL HANDLING AND WASTE MANAGEMENT.
 - BUILDING MATERIALS STOCKPILE MANAGEMENT.
 - MANAGEMENT OF WASHOUT AREAS (CONCRETE, PAINTS, STUCCO, ETC.).
 - CONTROL OF VEHICLE/EQUIPMENT FUELING TO CONTRACTOR'S STAGING AREA.
 - VEHICLE AND EQUIPMENT CLEANING PERFORMED OFF SITE.
 - SPILL PREVENTION AND CONTROL.
 - OTHER HOUSEKEEPING BMP'S ACCEPTABLE TO THE ENFORCING AGENCY.

- DEWATERING ACTIVITIES.
- MATERIAL HANDLING AND WASTE MANAGEMENT.
- BUILDING MATERIALS STOCKPILE MANAGEMENT.
- MANAGEMENT OF WASHOUT AREAS (CONCRETE, PAINTS, STUCCO, ETC.).
- CONTROL OF VEHICLE/EQUIPMENT FUELING TO CONTRACTOR'S STAGING AREA.
- VEHICLE AND EQUIPMENT CLEANING PERFORMED OFF SITE.
- SPILL PREVENTION AND CONTROL.
- OTHER HOUSEKEEPING BMP'S ACCEPTABLE TO THE ENFORCING AGENCY.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND
COMPLY WITH ALL LAWFULLY ENACTED STORMWATER DISCHARGE REGULATIONS FOR PROJECTS THAT (1) DISTURB ONE ACRE OR MORE OF LAND, OR (2) DISTURB LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE.

NOTE: PROJECTS THAT (1) DISTURB ONE ACRE OR MORE OF LAND, OR (2) DISTURB LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE MUST COMPLY WITH THE POSTCONSTRUCTION REQUIREMENTS DETAILED IN THE APPLICABLE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES ISSUED BY THE STATE WATER RESOURCES CONTROL BOARD OR THE LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD (FOR PROJECTS IN THE LAKE TAHOE HYDROLOGIC UNIT).

THE NPDES PERMITS REQUIRE POSTCONSTRUCTION RUNOFF (POSTPROJECT HYDROLOGY) TO MATCH THE PRECONSTRUCTION RUNOFF (PRE-PROJECT HYDROLOGY) WITH THE INSTALLATION OF POSTCONSTRUCTION STORMWATER MANAGEMENT MEASURES. THE NPDES PERMITS EMPHASIZE RUNOFF REDUCTION THROUGH ON-SITE STORMWATER USE, INTERCEPTION, EVAPOTRANSPIRATION AND INFILTRATION THROUGH NONSTRUCTURAL CONTROLS, SUCH AS LOW IMPACT DEVELOPMENT (LID) PRACTICES AND CONSERVATION DESIGN MEASURES. STORMWATER VOLUME THAT CANNOT BE ADDRESSED USING NONSTRUCTURAL PRACTICES IS REQUIRED TO BE CAPTURED IN STRUCTURAL PRACTICES AND BE APPROVED BY THE ENFORCING AGENCY.

REFER TO THE CURRENT APPLICABLE PERMITS ON THE STATE WATER RESOURCES CONTROL BOARD WEBSITE AT: WWW.WATERBOARDS.CA.GOV/CONSTRUCTIONSTORMWATER. CONSIDERATION TO THE STORMWATER RUNOFF MANAGEMENT MEASURES SHOULD BE GIVEN DURING THE INITIAL DESIGN PROCESS FOR APPROPRIATE INTEGRATION INTO SITE DEVELOPMENT.

5.106.8 LIGHT POLLUTION REDUCTION [N].
OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

- THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 0-4 AS DEFINED IN CHAPTER 10, SECTION 10-114 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND
- BACKLIGHT (B) RATINGS AS DEFINED IN IES TM-15-11 (SHOWN IN TABLE A-1 IN CHAPTER 8);
- UPLIGHT AND GLARE RATINGS AS DEFINED IN CALIFORNIA ENERGY CODE (SHOWN IN TABLES 130.2-A AND 130.2-B IN CHAPTER 8) AND
- ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE 5.106.8 [N].

OR COMPLY WITH A LOCAL ORDINANCE LAWFULLY ENACTED PURSUANT TO SECTION 101.7, WHICHEVER IS MORE STRINGENT.

- EXCEPTIONS: [N]**
- LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN SECTION 130.2(B) AND 140.7 OF THE CALIFORNIA ENERGY CODE
 - BUILDING FACADE MEETING THE REQUIREMENTS IN TABLE 140.7-B OF THE CALIFORNIA ENERGY CODE, PART 6.
 - CUSTOM LIGHTING FEATURES AS ALLOWED BY THE LOCAL ENFORCING AGENCY, AS PERMITTED BY SECTION 101.8 ALTERNATE MATERIALS, DESIGNS AND METHODS OF CONSTRUCTION.
 - LUMINAIRES WITH LESS THAN 6,200 INITIAL LUMINAIRE LUMENS.

- NOTES: [N]**
- SEE ALSO CALIFORNIA BUILDING CODE, CHAPTER 12, SECTION 1205.7 FOR COLLEGE CAMPUS LIGHTING REQUIREMENTS FOR PARKING FACILITIES AND WALKWAYS.
 - REFER TO CHAPTER 8 (COMPLIANCE FORMS, WORKSHEETS AND REFERENCE MATERIAL) FOR IES TM-15-11 TABLE A1, CALIFORNIA ENERGY CODE TABLES 130.2-A AND 130.2-B.
 - REFER TO THE CALIFORNIA ENERGY CODE FOR REQUIREMENTS FOR ADDITIONS AND ALTERATIONS.

TABLE 5.106.8 [N] - MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATING^{1, 2}

ALLOWABLE RATING	LIGHTING ZONE L20	LIGHTING ZONE L21	LIGHTING ZONE L22	LIGHTING ZONE L23	LIGHTING ZONE L24
MAXIMUM ALLOWABLE BACKLIGHT RATING³ (B)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT
LUMINAIRE BACK HEMISPHERE IS 1-2 MH FROM PROPERTY LINE	N/A	B2	B3	B4	B4
LUMINAIRE BACK HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	B1	B2	B3	B3
LUMINAIRE BACK HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
FOR AREA LIGHTING ³	N/A	U0	U0	U0	U0
FOR ALL OTHER OUTDOOR LIGHTING, INCLUDING DECORATIVE LUMINAIRES	N/A	U1	U2	U3	U4
MAXIMUM ALLOWABLE GLARE RATING (G)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	G1	G2	G3	G4
LUMINAIRE FRONT HEMISPHERE IS 1-2 MH FROM PROPERTY LINE	N/A	G0	G1	G1	G2
LUMINAIRE FRONT HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	G0	G0	G1	G1
LUMINAIRE FRONT HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	G0	G0	G0	G1

¹ IESNA LIGHTING ZONES 0 ARE NOT APPLICABLE; REFER TO LIGHTING ZONES AS DEFINED IN THE CALIFORNIA ENERGY CODE AND CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE.

² FOR PROPERTY LINES THAT ABUT PUBLIC WALKWAYS, BIKEWAYS, PLAZAS AND PARKING LOTS, THE PROPERTY LINE MAY BE CONSIDERED TO BE 5 FEET BEYOND THE ACTUAL PROPERTY LINE FOR PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION. FOR PROPERTY LINES THAT ABUT PUBLIC ROADWAYS AND PUBLIC TRANSIT CORRIDORS, THE

PROPERTY LINE MAY BE CONSIDERED TO BE THE CENTERLINE OF THE PUBLIC ROADWAY OR PUBLIC TRANSIT CORRIDOR FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION.

³ GENERAL LIGHTING LUMINAIRES IN AREAS SUCH AS OUTDOOR PARKING, SALES OR STORAGE LOTS SHALL MEET THESE REDUCED RATINGS. DECORATIVE LUMINAIRES LOCATED IN THESE AREAS SHALL MEET U-VALUE LIMITS FOR ALL OTHER OUTDOOR LIGHTING."

5.106.8.1 FACING - BACKLIGHT
LUMINAIRES WITHIN 2MH OF A PROPERTY LINE SHALL BE ORIENTED SO THAT THE NEAREST PROPERTY LINE IS BEHIND THE FIXTURE, AND SHALL COMPLY WITH THE BACKLIGHT RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT OF THAT PROPERTY LINE.

EXCEPTION: CORNERS. IF TWO PROPERTY LINES (OR TWO SEGMENTS OF THE SAME PROPERTY LINE) HAVE EQUIDISTANT POINTS TO THE LUMINAIRE, THEN THE LUMINAIRE MAY BE ORIENTED SO THAT THE INTERSECTION OF THE TWO LINES (THE CORNER) IS DIRECTLY BEHIND THE LUMINAIRE. THE LUMINAIRE SHALL STILL USE THE DISTANCE TO THE NEAREST POINT(S) ON THE PROPERTY LINE TO DETERMINE THE REQUIRED BACKLIGHT RATING.

5.106.8.2 FACING - GLARE
FOR LUMINAIRES COVERED BY 5.106.8.1, IF A PROPERTY LINE ALSO EXISTS WITHIN OR EXTENDS INTO THE FRONT HEMISPHERE WITHIN 2MH OF THE LUMINAIRE THEN THE LUMINAIRE SHALL COMPLY WITH THE MORE STRINGENT GLARE RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT ON THE NEAREST PROPERTY LINE WITHIN THE FRONT HEMISPHERE.

5.106.10 GRADING AND PAVING
CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL BE USED TO MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

- SWALES.
- WATER COLLECTION AND DISPOSAL SYSTEMS.
- FRENCH DRAINS.
- WATER RETENTION GARDENS.
- OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

5.106.12 SHADE TREES [DSA-S8]
SHADE TREES SHALL BE PLANTED TO COMPLY WITH SECTIONS 5.106.12.1, 5.106.12.2, AND 5.106.12.3. PERCENTAGES SHOWN SHALL BE MEASURED AT NOON ON THE SUMMER SOLSTICE. LANDSCAPE IRRIGATION NECESSARY TO ESTABLISH AND MAINTAIN TREE HEALTH SHALL COMPLY WITH SECTION 5.304.6.

5.106.12.1 SURFACE PARKING AREAS
SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL, SHALL BE INSTALLED TO PROVIDE SHADE OVER 50 PERCENT OF THE PARKING AREA WITHIN 15 YEARS.

EXCEPTIONS: THE SURFACE PARKING AREA COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES, OR SHADE STRUCTURES, WITH ROOFING MATERIALS THAT COMPLY WITH TABLE A5.106.11.2.2 IN APPENDIX A5, SHALL BE PERMITTED IN WHOLE OR IN PART IN LIEU OF SHADE TREE PLANTINGS.

5.106.12.2 LANDSCAPE AREAS
SHADE TREES PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OF 20% OF THE LANDSCAPE AREA WITHIN 15 YEARS.

EXCEPTIONS: PLAYFIELDS FOR ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.

5.106.12.3. HARDSCAPE AREAS.
SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OVER 20% OF THE HARDSCAPE AREA WITHIN 15 YEARS.

EXCEPTIONS: WALKS, HARDSCAPE AREAS COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES, AND HARDSCAPE AREAS COVERED BY SHADE STRUCTURES WITH ROOFING MATERIALS THAT COMPLY WITH TABLE A5.106.11.2.2 IN APPENDIX A5, SHALL BE PERMITTED IN WHOLE OR IN PART IN LIEU OF SHADE TREE PLANTINGS. DESIGNATED AND MARKED PLAY AREAS OF ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.

DIVISION 5.2 ENERGY EFFICIENCY

5.201 GENERAL

5.201.1 SCOPE. CALIFORNIA ENERGY CODE
FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY BUILDING STANDARDS.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

5.301 GENERAL

5.301.1 SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL ESTABLISH THE MEANS OF CONSERVING WATER USED INDOORS, OUTDOORS AND IN WASTEWATER CONVEYANCE.

5.303 INDOOR WATER USE

5.303.1 METERS
SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR THE USES DESCRIBED IN SECTIONS 5.303.1.1 AND 5.303.1.2.

5.303.1.1 NEW BUILDINGS OR ADDITIONS IN EXCESS OF 50,000 SQUARE FEET
SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS:

- FOR EACH INDIVIDUAL LEASED, RENTED, OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100 GAL/DAY (380 L/DAY), INCLUDING, BUT NOT LIMITED TO, SPACES USED FOR LAUNDRY OR CLEANERS, RESTAURANT OR FOOD SERVICE, MEDICAL OR DENTAL OFFICE, LABORATORY, OR BEAUTY SALON OR BARBER SHOP.
- WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS:
 - MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM (30 US).
 - MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM (0.04 US).
 - STEAM AND HOT-WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 BTU/H (147 KW).

CONSULTANT

AGENCY

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
CAL GREEN REQUIREMENTS

NO.	REVISION	DATE
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PROJECT MANAGER JP	
DRAWN BY SD, DDA, AK	CHECKED BY JP
DATE 09/27/2024	
PROJECT NUMBER 3090-01-CU23	
SHEET	

G-203

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (JANUARY 2023)



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TABLE 5.504.4.2 - SEALANT VOC LIMIT
(LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER)

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1188.

5.504.4.3 PAINTS AND COATINGS

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS*
(GRAMS OF VOC PER LITER OF COATING, LESS WATER AND LESS EXEMPT COMPOUNDS)

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS AND UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER AND INCLUDING EXEMPT COMPOUNDS.
- THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEBRUARY 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.1 AEROSOL PAINTS AND COATINGS

AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMIR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

5.504.4.3.2 VERIFICATION

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

- MANUFACTURER'S PRODUCT SPECIFICATION
- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

5.504.4.4 CARPET SYSTEMS

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS FOR THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. <https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLB/IAQ/Pages/VOC.aspx#material>

5.504.4.4.1 CARPET CUSHION

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. <https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLB/IAQ/Pages/VOC.aspx#material>

5.504.4.4.2 CARPET ADHESIVE

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.

5.504.4.5 COMPOSITE WOOD PRODUCTS

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.) THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN TABLE 5.504.4.5.

5.504.4.5.3 DOCUMENTATION

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

- PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
 - CHAIN OF CUSTODY CERTIFICATIONS.
 - PRODUCT LABELING AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
 - EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 636 3S STANDARDS.
- OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS¹
(MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION)

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLEBOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ²	0.13

- VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCH (8MM).

5.504.4.6 RESILIENT FLOOR SYSTEMS

WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. <https://www.cdph.ca.gov/Programs/CCDPHP/DEODD/EHLB/IAQ/Pages/VOC.aspx#material>

5.504.4.6.1 VERIFICATION OF COMPLIANCE

DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

5.504.5.3 FILTERS

IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

EXCEPTION: EXISTING MECHANICAL EQUIPMENT.

5.504.5.3.1 LABELING

INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS; OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1202 (VENTILATION) AND CHAPTER 14 (EXTERIOR WALLS). FOR ADDITIONAL MEASURES, SEE SECTION 5.407.2 OF THIS CODE.

5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY

FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

5.506.2 CARBON DIOXIDE (CO2) MONITORING

FOR BUILDINGS OR ADDITIONS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SECTION 120(C)(4).

5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E90 AND ASTM E413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2.

EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH AS FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.

EXCEPTION: [DSA-SS] FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, THE REQUIREMENTS OF THIS SECTION AND ALL SUBSECTIONS APPLY ONLY TO NEW CONSTRUCTION.

5.507.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD
WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IN THE FOLLOWING LOCATIONS:

- WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT.

EXCEPTIONS:

- LOW OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION COMPATIBLE LAND USE ZONE (ACUZ) PLAN.
 - LOW OR CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT.
- WITHIN THE 65 CNEL OR LOW NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN.

5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE
BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB Leq-1HR DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING, ADDITION OR ALTERATION EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

5.507.4.2 PERFORMANCE METHOD

FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (Leq-1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

5.507.4.2.1 SITE FEATURES

EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE BUILDING, ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

5.507.4.2.2 DOCUMENTATION OF COMPLIANCE

AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

5.507.4.3 INTERIOR SOUND TRANSMISSION

WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

NOTE: EXAMPLES OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: www.toobase.org/PDF/CaseStudies/stc_icc_ratings.pdf.

5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS
INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

5.508.1.1 CHLOROFLUOROCARBONS (CFCs)

INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFCs.

5.508.1.2 HALONS

INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

5.508.2 SUPERMARKET REFRIGERANT LEAK REDUCTION

NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES, 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL WARMING POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES.

EXCEPTION: REFRIGERATION SYSTEMS CONTAINING LOW-GLOBAL WARMING POTENTIAL (LOW-GWP) REFRIGERANT WITH A GWP VALUE LESS THAN 150 ARE NOT SUBJECT TO THIS SECTION. LOW-GWP REFRIGERANTS ARE NONOZONE-DEPLETING REFRIGERANTS THAT INCLUDE AMMONIA, CARBON DIOXIDE (CO2), AND POTENTIALLY OTHER REFRIGERANTS.

5.508.2.1 REFRIGERANT PIPING

PIPING COMPLIANT WITH THE CALIFORNIA MECHANICAL CODE SHALL BE INSTALLED TO BE ACCESSIBLE FOR LEAK PROTECTION AND REPAIRS. PIPING RUNS USING THREADED PIPE, COPPER TUBING WITH AN

OUTSIDE DIAMETER (OD) LESS THAN 1/4 INCH, FLARED TUBING CONNECTIONS AND SHORT RADIUS ELBOWS SHALL NOT BE USED IN REFRIGERANT SYSTEMS EXCEPT AS NOTED BELOW.

5.508.2.1.1 THREADED PIPE

THREADED CONNECTIONS ARE PERMITTED AT THE COMPRESSOR RACK.

5.508.2.1.2 COPPER PIPE

COPPER TUBING WITH AN OD LESS THAN 1/4 INCH MAY BE USED IN SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR LESS.

5.508.2.1.2.1 ANCHORAGE

ONE-FOURTH-INCH OD TUBING SHALL BE SECURELY CLAMPED TO A RIGID BASE TO KEEP VIBRATION LEVELS BELOW 8 MILS.

5.508.2.1.3 FLARED TUBING CONNECTIONS

DOUBLE-FLARED TUBING CONNECTIONS MAY BE USED FOR PRESSURE CONTROLS, VALVE PILOT LINES AND OIL.

EXCEPTION: SINGLE-FLARED TUBING CONNECTIONS MAY BE USED WITH A MULTIRING SEAL COATED WITH INDUSTRIAL SEALANT SUITABLE FOR USE WITH REFRIGERANTS AND TIGHTENED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

5.508.2.1.4 ELBOWS

SHORT RADIUS ELBOWS ARE ONLY PERMITTED WHERE SPACE LIMITATIONS PROHIBIT USE OF LONG RADIUS ELBOWS.

5.508.2.2 VALVES

VALVES AND FITTINGS SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE AND AS FOLLOWS.

5.508.2.2.1 PRESSURE RELIEF VALVES

FOR VESSELS CONTAINING HIGH-GWP REFRIGERANT, A RUPTURE DISC SHALL BE INSTALLED BETWEEN THE OUTLET OF THE VESSEL AND THE INLET OF THE PRESSURE RELIEF VALVE.

5.508.2.2.1.1 PRESSURE DETECTION

A PRESSURE GAUGE, PRESSURE TRANSDUCER OR OTHER DEVICE SHALL BE INSTALLED IN THE SPACE BETWEEN THE RUPTURE DISC AND THE RELIEF VALVE INLET TO INDICATE A DISC RUPTURE OR DISCHARGE OF THE RELIEF VALVE.

5.508.2.2.2 ACCESS VALVES

ONLY SCHRADER ACCESS VALVES WITH A BRASS OR STEEL BODY ARE PERMITTED FOR USE.

5.508.2.2.2.1 VALVE CAPS

FOR SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR MORE, VALVE CAPS SHALL BE BRASS OR STEEL AND NOT PLASTIC.

5.508.2.2.2.2 SEAL CAPS

IF DESIGNED FOR IT, THE CAP SHALL HAVE A NEOPRENE O-RING IN PLACE.

5.508.2.2.2.2.1 CHAIN TETHERS

CHAIN TETHERS TO FIT OVER THE STEM ARE REQUIRED FOR VALVES DESIGNED TO HAVE SEAL CAPS.

EXCEPTION: VALVES WITH SEAL CAPS THAT ARE NOT REMOVED FROM THE VALVE DURING STEM OPERATION.

5.508.2.3 REFRIGERATED SERVICE CASES

REFRIGERATED SERVICE CASES HOLDING FOOD PRODUCTS CONTAINING VINEGAR AND SALT SHALL HAVE EVAPORATOR COILS OF CORROSION-RESISTANT MATERIAL, SUCH AS STAINLESS STEEL, OR BE COATED TO PREVENT CORROSION FROM THESE SUBSTANCES.

5.508.2.3.1 COIL COATING

CONSIDERATION SHALL BE GIVEN TO THE HEAT TRANSFER EFFICIENCY OF COIL COATING TO MAXIMIZE ENERGY EFFICIENCY.

5.508.2.4 REFRIGERANT RECEIVERS

REFRIGERANT RECEIVERS WITH CAPACITIES GREATER THAN 200 POUNDS SHALL BE FITTED WITH A DEVICE THAT INDICATES THE LEVEL OF REFRIGERANT IN THE RECEIVER.

5.508.2.5 PRESSURE TESTING

THE SYSTEM SHALL BE PRESSURE TESTED DURING INSTALLATION PRIOR TO EVACUATION AND CHARGING.

5.508.2.5.1 MINIMUM PRESSURE

THE SYSTEM SHALL BE CHARGED WITH REGULATED DRY NITROGEN AND APPROPRIATE TRACER GAS TO BRING SYSTEM PRESSURE UP TO 300 PSIG MINIMUM.

5.508.2.5.2 LEAKS

CHECK THE SYSTEM FOR LEAKS, REPAIR ANY LEAKS, AND RETEST FOR PRESSURE USING THE SAME GAUGE.

5.508.2.5.3 ALLOWABLE PRESSURE CHANGE

THE SYSTEM SHALL STAND UNALTERED, FOR 24 HOURS WITH NO MORE THAN A +/- ONE POUND PRESSURE CHANGE FROM 300 PSIG, MEASURED WITH THE SAME GAUGE.

5.508.2.6 EVACUATION

THE SYSTEM SHALL BE EVACUATED AFTER PRESSURE TESTING AND PRIOR TO CHARGING.

5.508.2.6.1 FIRST VACUUM

PULL A SYSTEM VACUUM DOWN TO AT LEAST 1000 MICRONS (+/- 50 MICRONS), AND HOLD FOR 30 MINUTES.



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PATH OF TRAVEL

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER-FREE ACCESS ROUTE

FLOOR OR GROUND SURFACE (CBC 118-302.1)
SURFACE IS STABLE, FIRM, AND SLIP-RESISTANT.

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THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.

CHANGES IN LEVEL (CBC 118-403.3)

- CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. (CBC 118-303.2)
- CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (CBC 118-303.3)

CLEARANCES (CBC 118-403.5.1)
THE CLEAR WIDTH SHALL BE 36" MINIMUM

- THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32" MINIMUM FOR A LENGTH OF 24" MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48" LONG MINIMUM AND 36" WIDE MINIMUM. (EXCEPTION 1)
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- THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO TOILET COMPARTMENTS SHALL BE 44". (EXCEPTION 4)

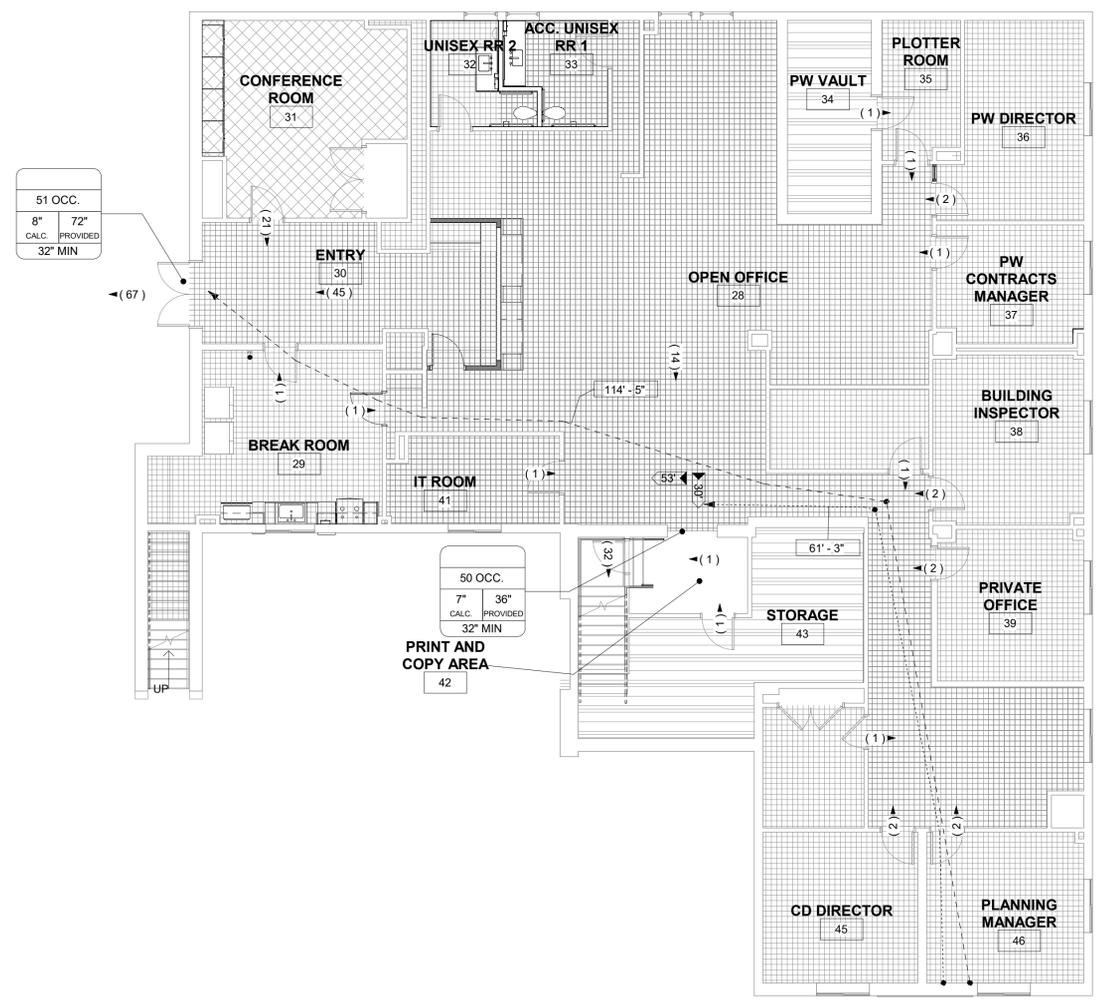
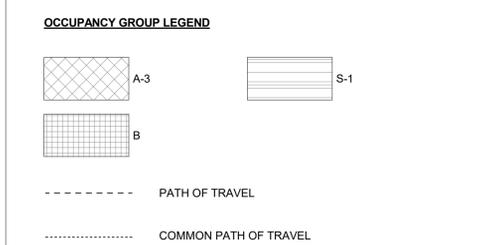
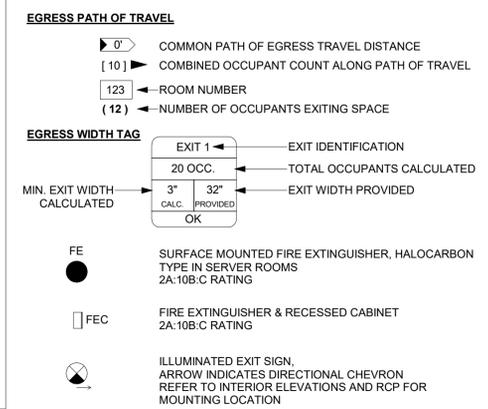
PROTRUDING OBJECTS (CBC 118-307)

- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (CBC 118-307.4)
- OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH (CBC 118-307.2)

CONSULTANT

AGENCY

LEGEND



1 CODE ANALYSIS - LEVEL 1

A-201 | G-403 | SCALE: 1/8" = 1'-0"

EGRESS

CBC TABLE 1004.5, 1006.2.1, & 1006.3.2
 MORE THAN ONE EXIT MUST BE PROVIDED IF THE SPACE OCCUPANT LOAD OR MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE ARE EXCEEDED. MORE EXITS MAY BE REQUIRED UNDER HIGH OCCUPANT LOAD OR OTHER SPECIAL CONDITIONS.

OCCUPANCY GROUP	NO.	SPACE NAME	FUNCTION OF SPACE	DESIGNED AREA USABLE*	OLF	CUM. OCC. LOAD OF SPACE	EXITING		MAX. COMMON PATH OF EGRESS ALLOWED FOR SINGLE EXIT
							MAX. SINGLE EXIT CUMULATIVE LOAD OF SPACE	MIN. NUMBER OF EXITS PER SPACE	
B	28	OPEN OFFICE	BUSINESS AREAS	1,626 SF	150	13	49	1	100
B	29	BREAK ROOM	KITCHENS, COMMERCIAL	306 SF	200	2	49	1	100
B	30	ENTRY	ASSEMBLY WITHOUT FIXED SEATS; STANDING SPACE	260 SF	5	53	49	2	75
B	31	CONFERENCE ROOM	CONCENTRATED BUSINESS USE AREAS	311 SF			49		75
B	32	UNISEX RR 2	(none)	77 SF			49		
B	33	ACC. UNISEX RR 1	(none)	85 SF			49		
B	35	PLOTTER ROOM	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	94 SF	300	1	49	1	100
B	36	PW DIRECTOR	BUSINESS AREAS	226 SF	150	2	49	1	100
B	37	PW CONTRACTS MANAGER	BUSINESS AREAS	151 SF	150	2	49	1	100
B	38	BUILDING INSPECTOR	BUSINESS AREAS	224 SF	150	2	49	1	100
B	39	PRIVATE OFFICE	BUSINESS AREAS	184 SF	150	2	49	1	100
B	41	IT ROOM	NON-OCCUPIED MECHANICAL EQUIPMENT	130 SF	300	1	49	1	100
B	42	PRINT AND COPY AREA	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	83 SF	300	1	49	1	100
B	43	STORAGE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	316 SF	300	2	49	1	100
B	44	OFFICE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	108 SF	300	1	49	1	100
B	45	CD DIRECTOR	BUSINESS AREAS	207 SF	150	2	49	1	100
B	46	PLANNING MANAGER	BUSINESS AREAS	209 SF	150	2	49	1	100
S	34	PW VAULT	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	144 SF	300	1	29	1	100
S	40	STORAGE	(none)	113 SF			29		
S	26	RESTROOM 2	(none)	5,066 SF			87		
S				N/A Placed	0		29		
S				0 SF			0		
S				5,066 SF			87		

*USABLE AREA IS TO FINISH SURFACE OF A SPACE

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BID SET

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
BUILDING CODE ANALYSIS - LEVEL 1

NO.	REVISION	DATE

PROJECT MANAGER
JP
 DRAWN BY
SD, DDA, AK
 CHECKED BY
JP
 DATE
09/27/2024
 PROJECT NUMBER
3090-01-CU23
 SHEET
G-403



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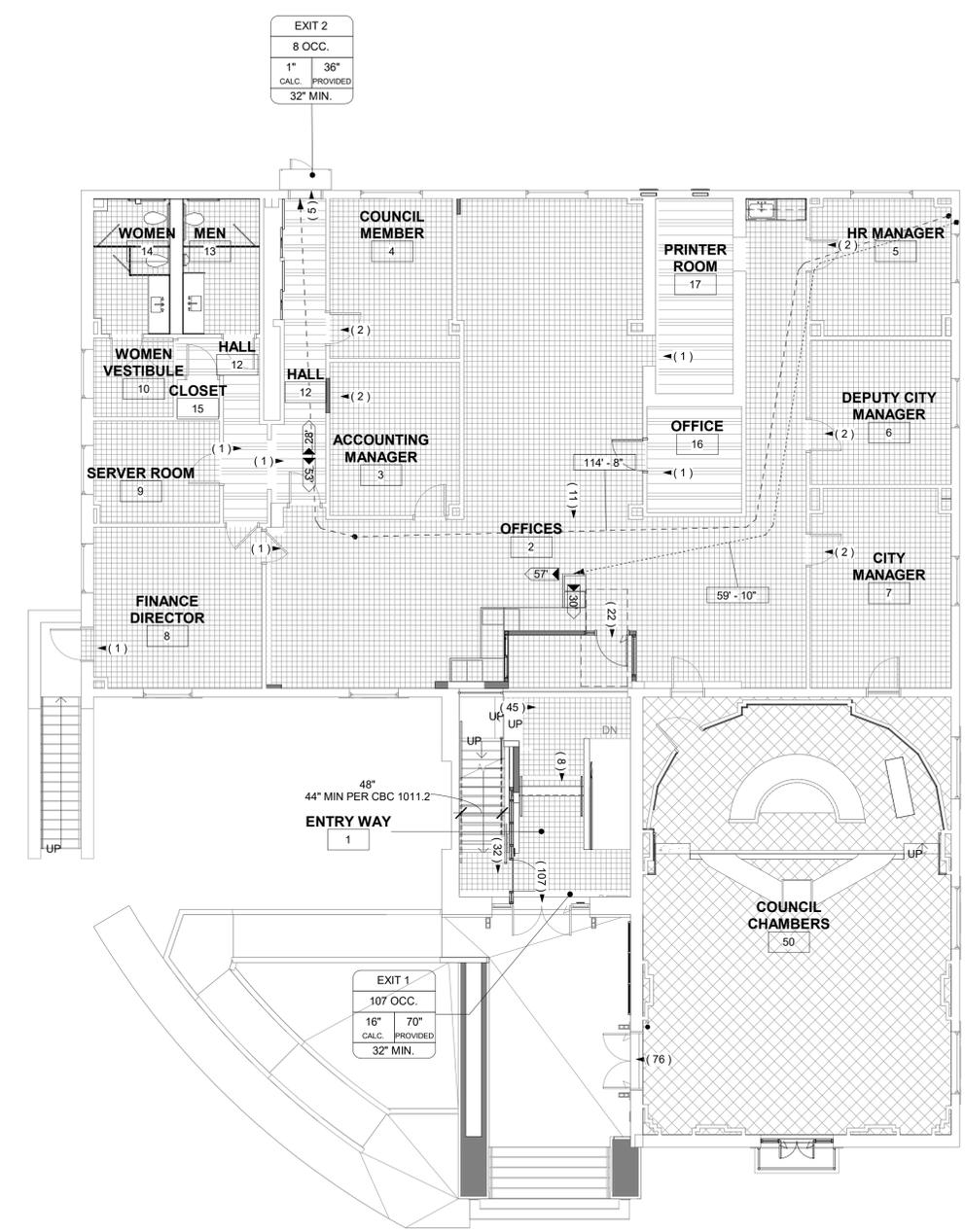
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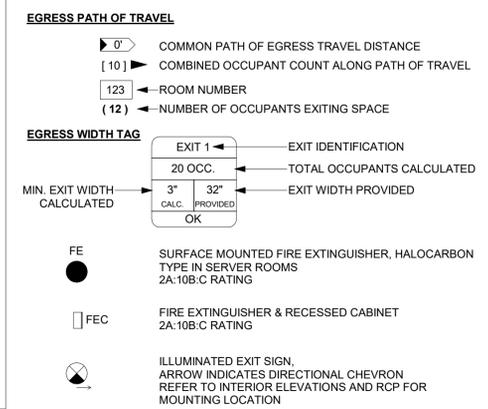
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CONSULTANT

AGENCY



LEGEND



1 CODE ANALYSIS - LEVEL 2

A-201 | G-404 SCALE: 1/8" = 1'-0"

EGRESS

CBC TABLE 1004.5, 1006.2.1, & 1006.3.2
MORE THAN ONE EXIT MUST BE PROVIDED IF THE SPACE OCCUPANT LOAD OR MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE ARE EXCEEDED. MORE EXITS MAY BE REQUIRED UNDER HIGH OCCUPANT LOAD OR OTHER SPECIAL CONDITIONS.

OCCUPANCY GROUP	NO.	SPACE NAME	FUNCTION OF SPACE	DESIGNED AREA USABLE*	OLF	CUM. OCC. LOAD OF SPACE	MAX. SINGLE EXIT CUMULATIVE LOAD OF SPACE	EXITING MIN. NUMBER OF EXITS PER SPACE	MAX. COMMON PATH OF EGRESS ALLOWED FOR SINGLE EXIT
B	2	OFFICES	BUSINESS AREAS	1,518 SF	100	11	49	1	100
B	3	ACCOUNTING MANAGER	BUSINESS AREAS	185 SF	150	2	49	1	100
B	4	COUNCIL MEMBER	BUSINESS AREAS	185 SF	150	2	49	1	100
B	5	HR MANAGER	BUSINESS AREAS	175 SF	150	2	49	1	100
B	6	DEPUTY CITY MANAGER	BUSINESS AREAS	190 SF	150	2	49	1	100
B	7	CITY MANAGER	BUSINESS AREAS	268 SF	150	2	49	1	100
B	8	FINANCE DIRECTOR	BUSINESS AREAS	293 SF	150	2	49	1	100
B	10	WOMEN VESTIBULE	(none)	59 SF			49		100
B	13	MEN	(none)	98 SF			49		100
B	14	WOMEN	(none)	94 SF			49		100
B	50	COUNCIL CHAMBERS	ASSEMBLY WITHOUT FIXED SEATS; UNCONCENTRATED (TABLE AND CHAIRS)	1,130 SF	15	76	49	2	75
S	9	SERVER ROOM	(none)	120 SF			29		100
S	11	CLOSET	(none)	17 SF			29		100
S	12	HALL	(none)	216 SF			29		100
S	15	CLOSET	(none)	15 SF			29		100
S	16	OFFICE	ACCESSORY STORAGE AREAS; MECHANICAL EQUIPMENT ROOM	94 SF	300	1	29	1	100
S	17	PRINTER ROOM	ACCESSORY STORAGE AREAS; MECHANICAL EQUIPMENT ROOM	142 SF	300	1	29	1	100
B	1	ENTRY WAY	ASSEMBLY WITHOUT FIXED SEATS; UNCONCENTRATED (TABLE AND CHAIRS)	122 SF	15	9	49	1	100
				122 SF		9			
				4,870 SF		110			

*USABLE AREA IS TO FINISH SURFACE OF A SPACE

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
BUILDING CODE ANALYSIS - LEVEL 2

NO.	REVISION	DATE

PROJECT MANAGER
JP
DRAWN BY SD, DDA, AK
CHECKED BY JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET
G-404

10/17/2024 2:15:00 PM Autodesk Docs:3090-01 Signal Hill City Hall:3090-01 Signal Hill.rvt

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CHANGES IN LEVEL (CBC 11B-403.3)

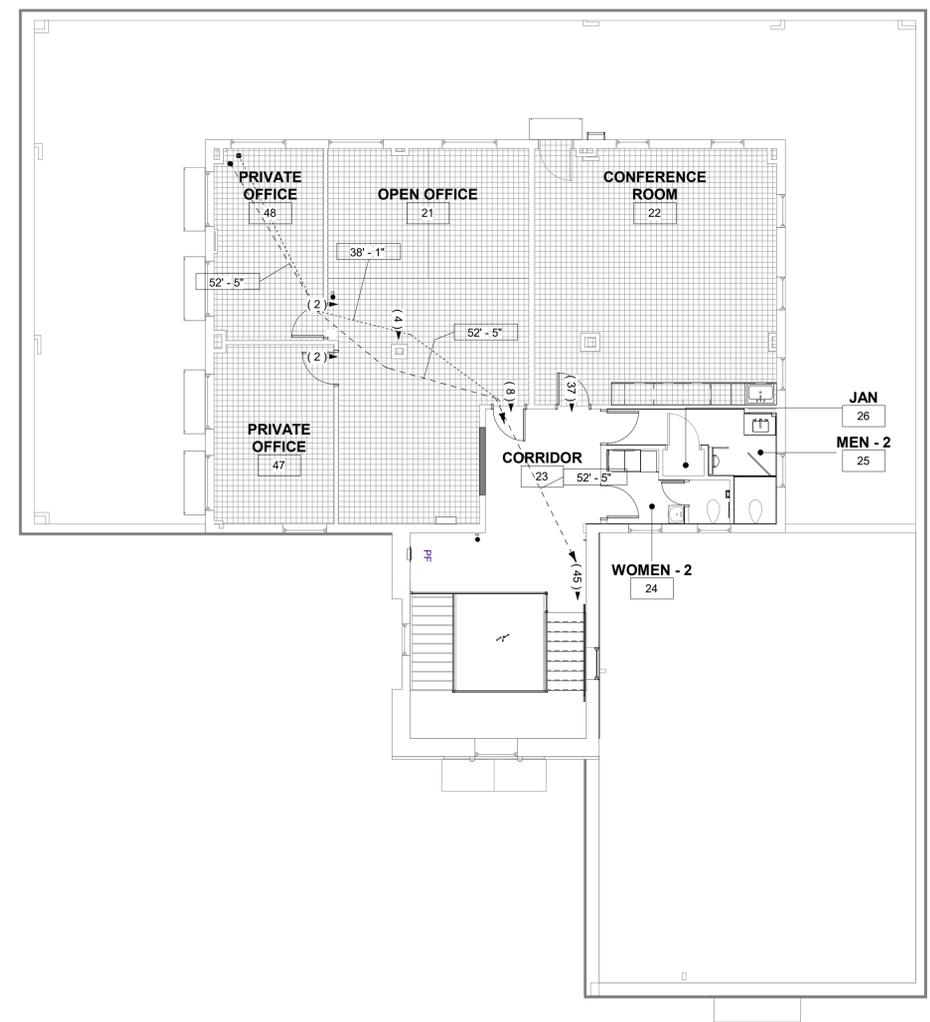
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CONSULTANT

AGENCY

LEGEND

EGRESS PATH OF TRAVEL

- ▶ 0' COMMON PATH OF EGRESS TRAVEL DISTANCE
- [10] COMBINED OCCUPANT COUNT ALONG PATH OF TRAVEL
- 123 ROOM NUMBER
- (12) NUMBER OF OCCUPANTS EXITING SPACE

EGRESS WIDTH TAG

MIN. EXIT WIDTH CALCULATED	3"	32"	EXIT WIDTH PROVIDED
	CALC.	PROVIDED	
	OK		

- FE SURFACE MOUNTED FIRE EXTINGUISHER, HALOCARBON TYPE IN SERVER ROOMS 2A:10B:C RATING
- FEC FIRE EXTINGUISHER & RECESSED CABINET 2A:10B:C RATING
- ILLUMINATED EXIT SIGN, ARROW INDICATES DIRECTIONAL CHEVRON REFER TO INTERIOR ELEVATIONS AND RCP FOR MOUNTING LOCATION

OCCUPANCY GROUP LEGEND

B

----- PATH OF TRAVEL

..... COMMON PATH OF TRAVEL

1 CODE ANALYSIS - LEVEL 3

A-201 | G-405 | SCALE: 1/8" = 1'-0"

EGRESS

CBC TABLE 1004.5, 1006.2.1, & 1006.3.2
MORE THAN ONE EXIT MUST BE PROVIDED IF THE SPACE OCCUPANT LOAD OR MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE ARE EXCEEDED. MORE EXITS MAY BE REQUIRED UNDER HIGH OCCUPANT LOAD OR OTHER SPECIAL CONDITIONS.

OCCUPANCY TYPE	NO.	SPACE NAME	FUNCTION OF SPACE	DESIGNED AREA USABLE*	OLF	CUM. OCC. LOAD OF SPACE	MAX. SINGLE EXIT CUMULATIVE LOAD OF SPACE	MIN. NUMBER OF EXITS PER SPACE	MAX. COMMON PATH OF EGRESS ALLOWED FOR SINGLE EXIT
(none)	51	PRIVATE OFFICE	(none)	115 SF					
(none)	52	PRIVATE OFFICE	(none)	61 SF					
(none)	53	PRIVATE OFFICE	(none)	148 SF					
B	47	PRIVATE OFFICE	BUSINESS AREAS	190 SF	150	2	49	1	100
B	48	PRIVATE OFFICE	BUSINESS AREAS	163 SF	150	2	49	1	100
				697 SF		4			
B	21	OPEN OFFICE	BUSINESS AREAS	597 SF	150	4	49	1	100
B	22	CONFERENCE ROOM	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLE AND CHAIRS)	544 SF	15	37	49	1	75
B	23	CORRIDOR	(none)	447 SF			49		
B	24	WOMEN - 2	(none)	62 SF			49		
B	25	MEN - 2	(none)	89 SF			49		
S	26	JAN	(none)	10 SF			29		
				1,749 SF		41			
				2,446 SF		45			

*USABLE AREA IS TO FINISH SURFACE OF A SPACE

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BID SET

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
BUILDING CODE ANALYSIS - LEVEL 3

NO.	REVISION	DATE
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PROJECT MANAGER
JP

DRAWN BY SD, DDA, AK **CHECKED BY** JP

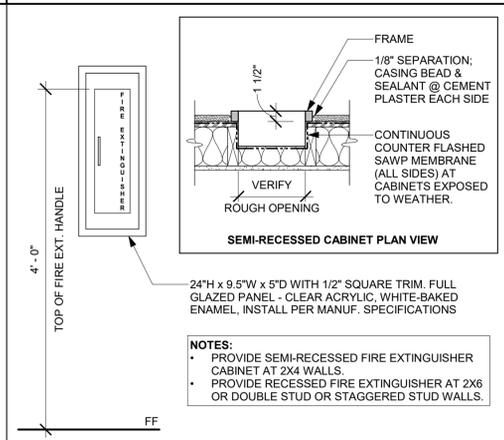
DATE
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PROJECT NUMBER
3090-01-CU23

SHEET
G-405

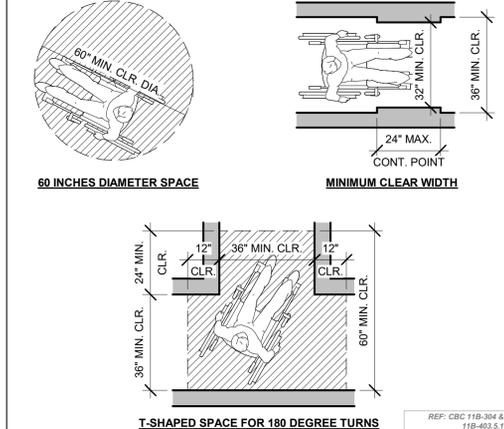
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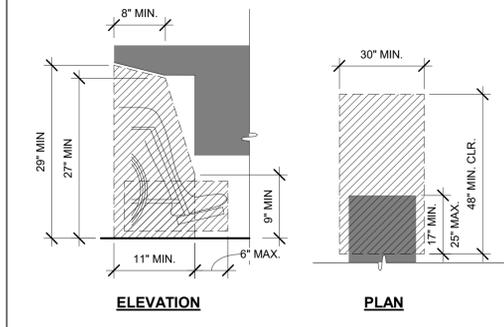
41 ACC. FIRE EXTINGUISHER CABINET

SCALE: NTS



42 TURNING SPACE

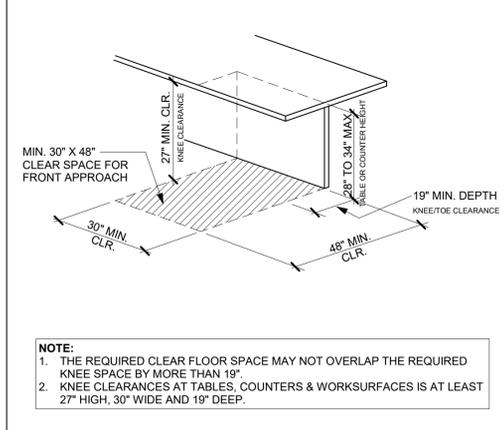
SCALE: 3/8" = 1'-0"



NOTE:
1. THE REQUIRED CLEAR FLOOR SPACE MAY NOT OVERLAP THE REQUIRED KNEE SPACE BY MORE THAN 19".
2. KNEE CLEARANCES AT TABLES, COUNTERS & WORKSURFACES IS AT LEAST 27" HIGH, 30" WIDE AND 19" DEEP.

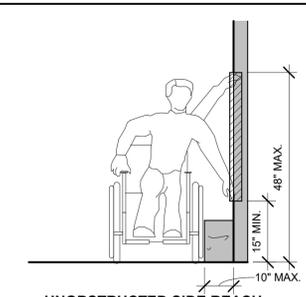
43 TOE & KNEE CLEARANCES

SCALE: 3" = 1'-0"

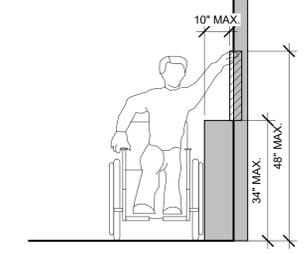


44 COUNTERTOP CLEARANCES

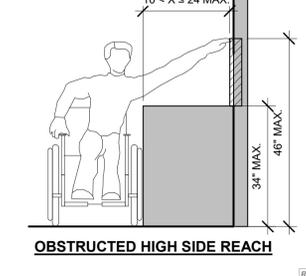
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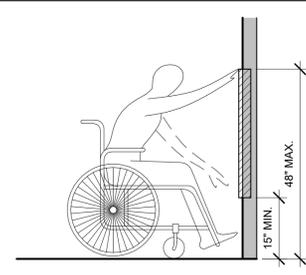
UNOBSTRUCTED SIDE REACH



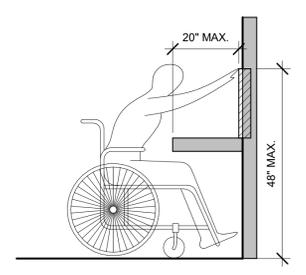
OBSTRUCTED HIGH SIDE REACH



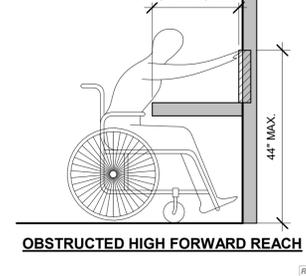
OBSTRUCTED FORWARD REACH



UNOBSTRUCTED FORWARD REACH

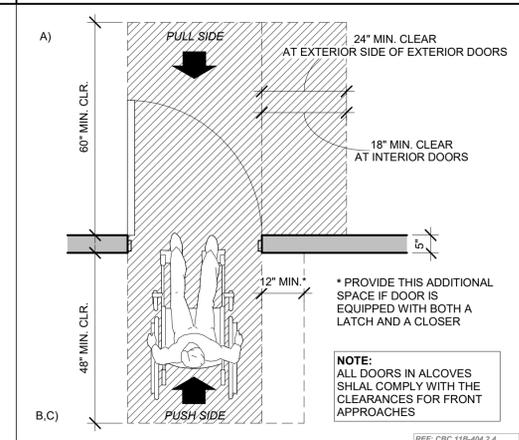


OBSTRUCTED HIGH FORWARD REACH



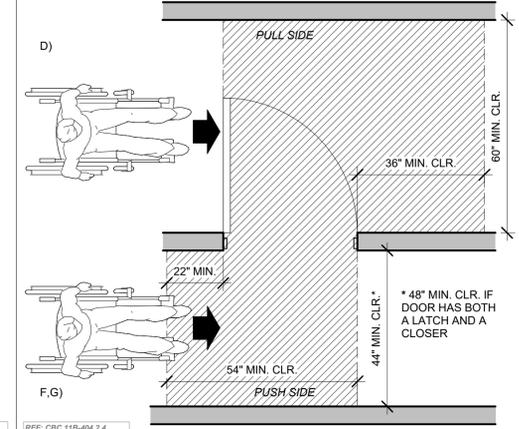
OBSTRUCTED FORWARD REACH

SCALE: NTS



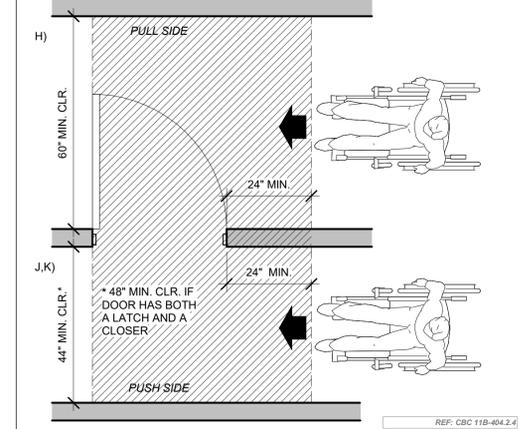
21 FRONT APPROACH CLEARANCES

SCALE: 1/2" = 1'-0"



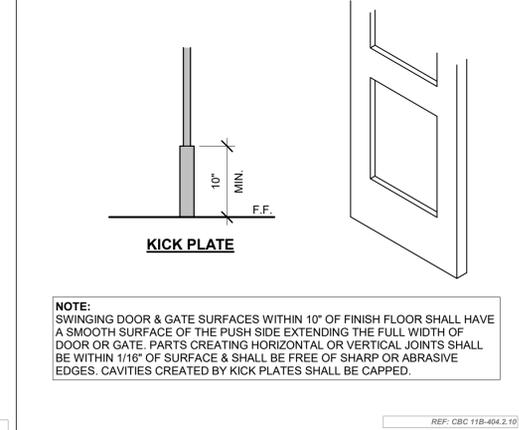
22 HINGE APPROACH CLEARANCES

SCALE: 1/2" = 1'-0"



23 LATCH APPROACH CLEARANCES

SCALE: 1/2" = 1'-0"



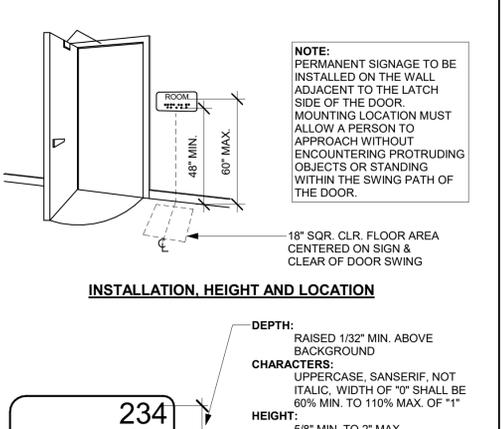
24 ACC. DOOR KICK PLATE

SCALE: NTS



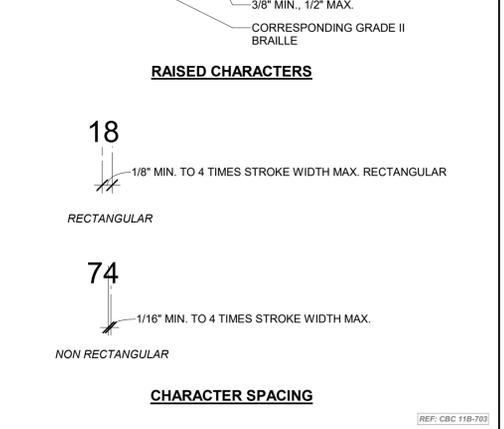
25 ACC. ROOM SIGNAGE

SCALE: NTS



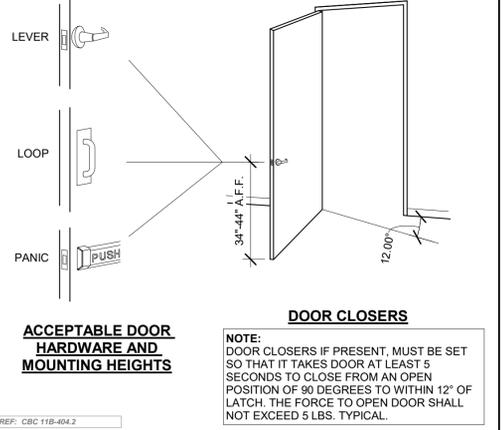
26 RAISED CHARACTERS

SCALE: NTS



27 CHARACTER SPACING

SCALE: NTS



28 ACC. DOOR REQUIREMENTS

SCALE: NTS

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
GN-ACCESSIBILITY DETAILS - CLEARANCES

NO.	REVISION	DATE
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PROJECT MANAGER
JP
DRAWN BY
SD, DDA, AK
CHECKED BY
JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET

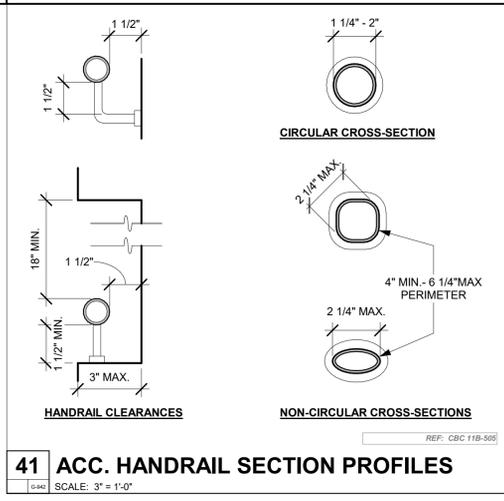
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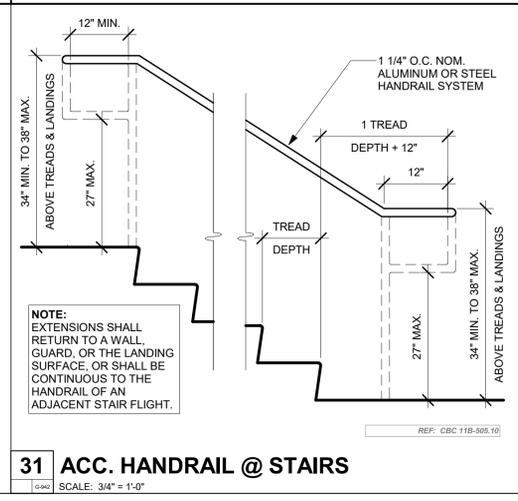
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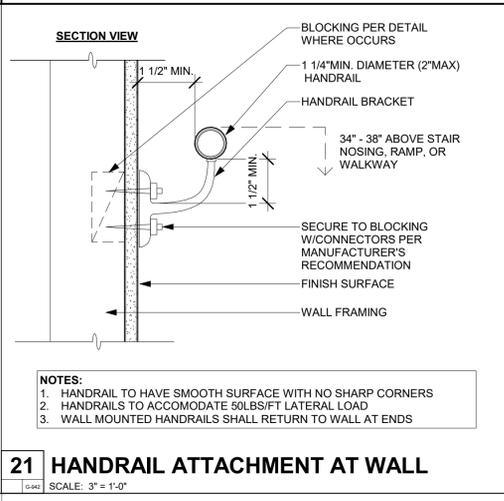
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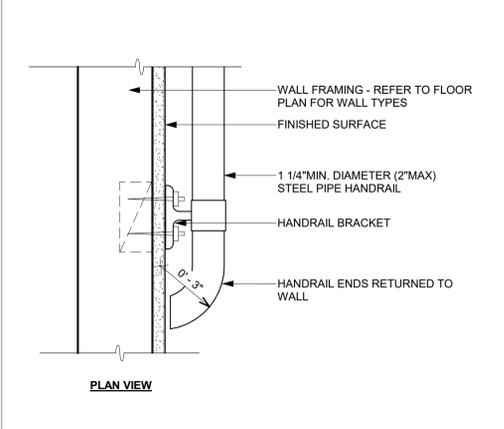
41 ACC. HANDRAIL SECTION PROFILES
SCALE: 3" = 1'-0"



31 ACC. HANDRAIL @ STAIRS
SCALE: 3/4" = 1'-0"



21 HANDRAIL ATTACHMENT AT WALL
SCALE: 3" = 1'-0"



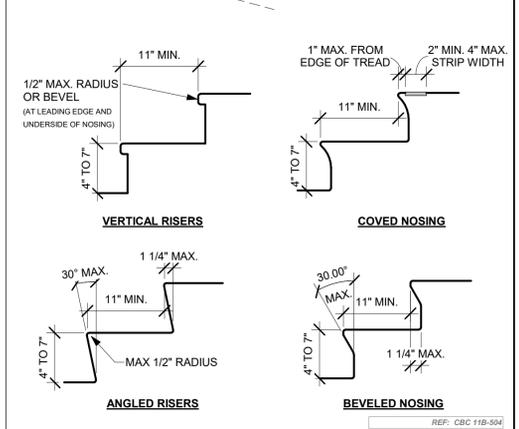
22 HANDRAIL END ATTACHMENT AT WALL
SCALE: 3" = 1'-0"

NOTES:
1. TREAD & LANDING SURFACES SHALL BE STABLE, FIRM & SLIP RESISTANT.
2. STAIR TREADS & RISERS SHALL BE OF UNIFORM SIZE AND SHAPE.
3. ALL NOSING SHALL BE UNIFORM SIZE, INCLUDING EDGE OF FLOOR AT TOP OF FLIGHT.
4. TREADS SHALL BE PERMITTED TO HAVE A SLOPE NOT STEEPER THAN 1:48 IN ANY DIRECTION.

WARNING STRIPS:
• MIN. 2" TO MAX. 4" WIDE, FULL WIDTH OF STAIR.
• MUST BE CLEARLY CONTRASTING COLOR FROM ADJOINING SURFACES.
• THE STRIP MUST BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.

EXTERIOR STAIRS:
• ALL TREADS MUST BE MARKED.
• PAINTED OR GROOVED STRIPES NOT ACCEPTABLE; MATERIAL SHALL BE AT LEAST AS SLIP RESISTANT AS TREADS.
• EXTERIOR STAIRS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.

INTERIOR STAIRS:
• UPPER APPROACH AND LOWER TREADS MUST BE MARKED.



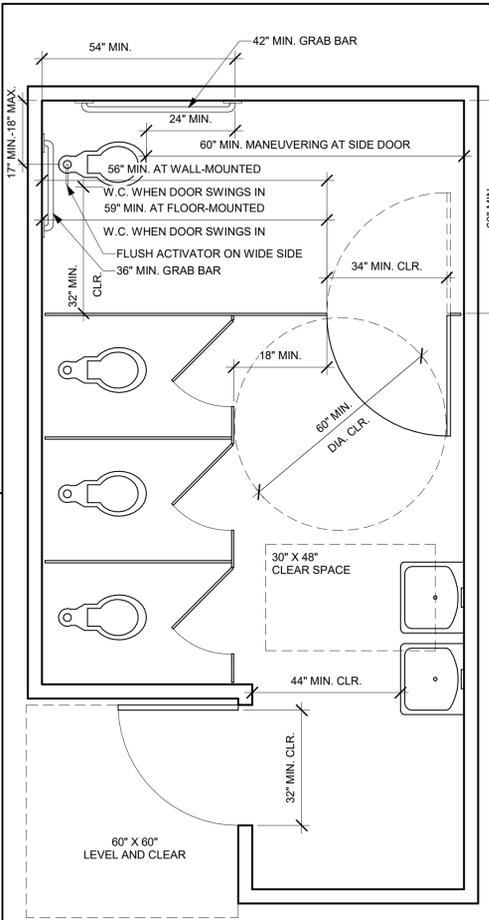
12 ACC. STAIR COMPLIANCE
SCALE: 1" = 1'-0"

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GN-ACCESSIBILITY DETAILS - STAIRS

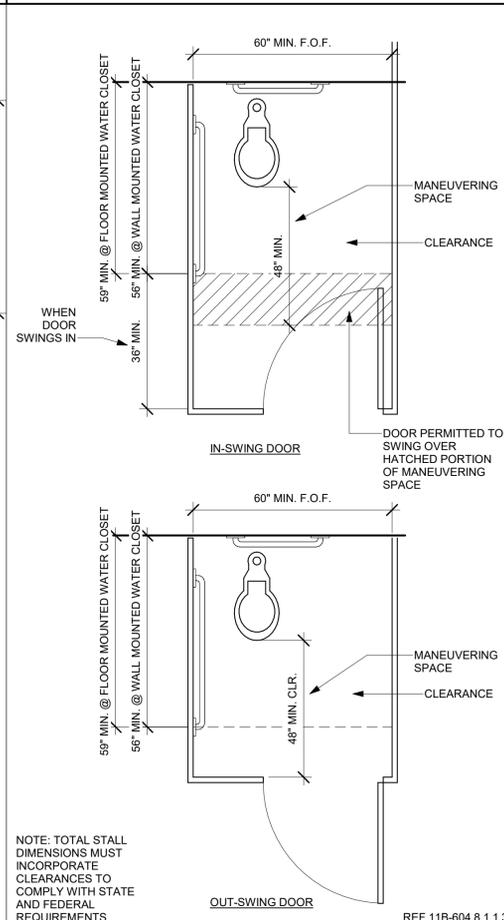
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PROJECT MANAGER JP	
DRAWN BY SD, DDA, AK	CHECKED BY JP
DATE 09/27/2024	
PROJECT NUMBER 3090-01-CU23	
SHEET G-942	

BID SET

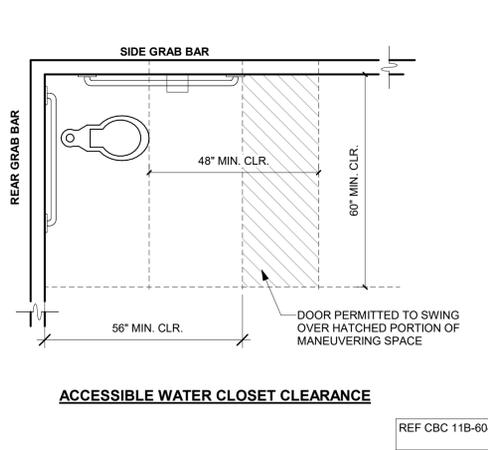
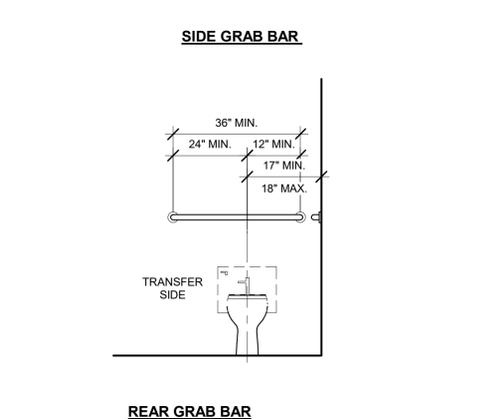
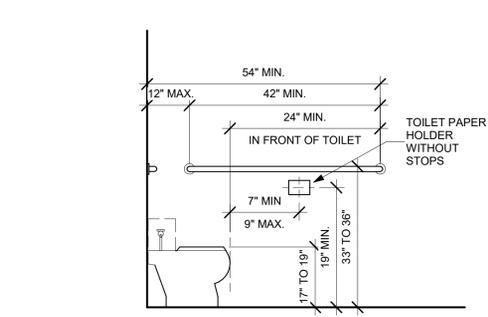


52 MULTIPLE ACCOMODATION TOILET
SCALE: 1/2" = 1'-0"



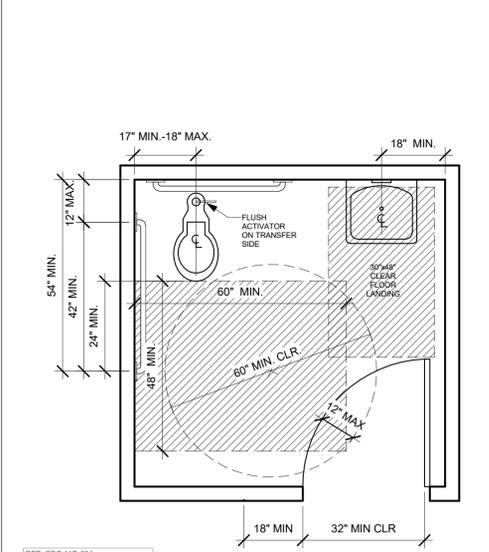
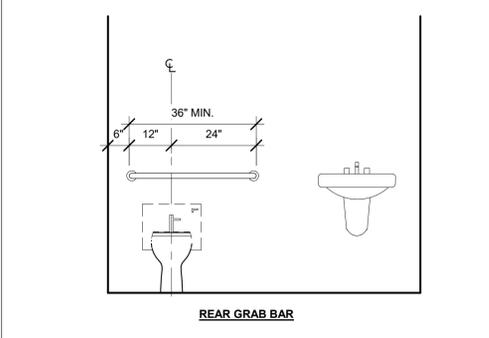
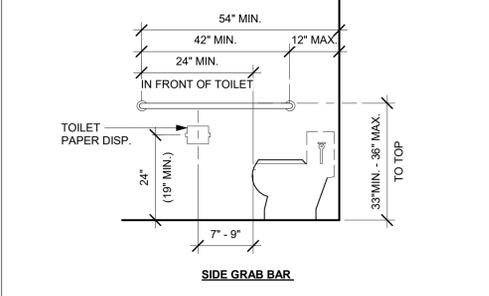
42 ACC. TOILET STALL - END OPG DR
SCALE: 1/2" = 1'-0"

NOTE:
1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. LOCATE CONTROLS AT TRANSFER SIDE OF FIXTURE
3. WATER CLOSET FLUSH VALVE CONTROLS, OPERATING MECHANISM CONTROLS SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" A.F.F.
4. THE FORCE REQUIRED TO ACTIVATE THE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS & FAUCET AND OPERATING MECHANISM CONTROLS SHALL BE NO GREATER THAN 5 LBF. ELECTRONIC OR AUTOMATIC FLUSHING CONTROLS ARE ACCEPTABLE AND PREFERABLE.
5. WHERE TANK TYPE TOILET IS USED WHICH OBSTRUCTS PLACEMENT AT 33", THE GRAB BAR MAY BE AS HIGH AS 36" MAINTAINING 1 1/2" CLEAR TO TANK.

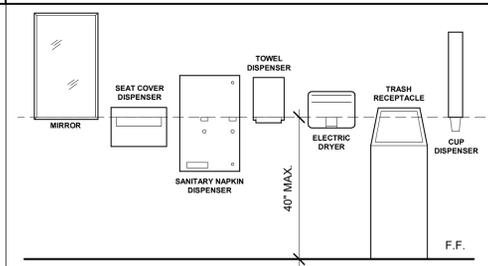


33 ACC. TYPICAL TOILET REQUIREMENTS
SCALE: 1/2" = 1'-0"

NOTE:
1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. TOTAL STALL DIMENSIONS MUST INCORPORATE CLEARANCES TO COMPLY WITH STATE AND FEDERAL REQUIREMENTS.
3. LOCATE CONTROLS AT TRANSFER SIDE OF FIXTURE
4. PROVIDE PRIVACY LOCK, MUST COMPLY WITH 2016 CBC 11B-205.
5. REFER TO DETAIL FOR DOOR SIGNAGE REQUIREMENTS.

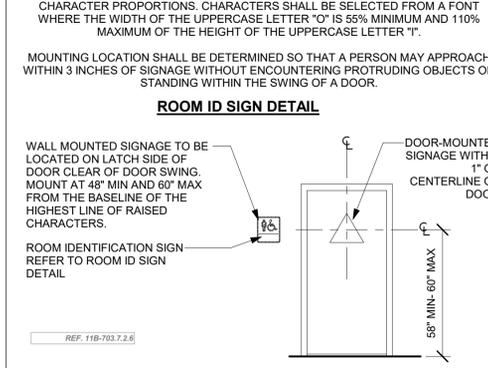
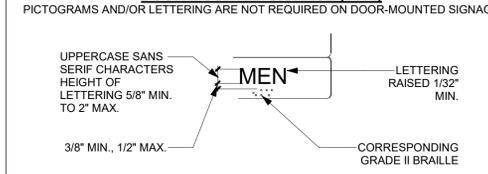
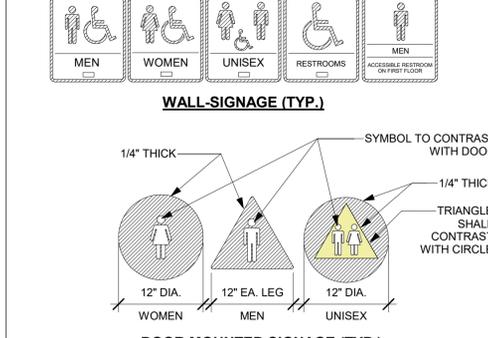


23 ACC. SINGLE-ACCOMODATION TOILET
SCALE: 1/2" = 1'-0"



NOTE:
1. CLEAR FLOOR OR GROUND SPACE REQUIRED TO ALLOW FOR OR PARALLEL APPROACH TO ACCESSORIES.
2. ALL OPERABLE PARTS OF FIXTURES AND ACCESSORIES TO BE LOCATED 40" MAX. A.F.F.
3. CONTROLS AND OPERATING MECHANISMS MUST OPERATE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST.
4. MAX. 5 POUND FORCE TO OPERATE CONTROLS.
5. LOCATE COAT HOOKS AND SHELVING WITHIN APPROPRIATE RACH RANGE (48" MAX. ABOVE FLOOR.)

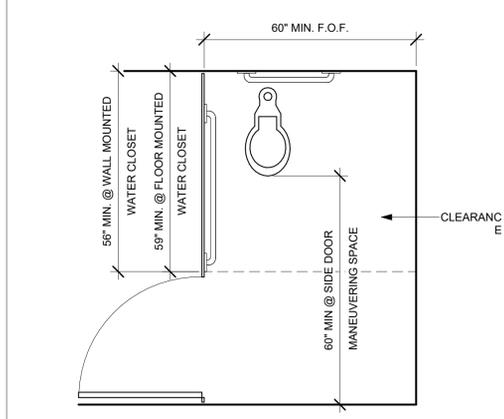
11 ACC. RESTROOM ACCESSORIES
SCALE: 1/2" = 1'-0"



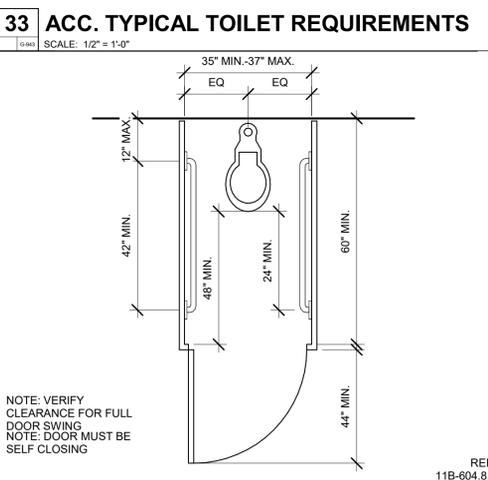
13 ACC. RESTROOM ID SYMBOLS
NTS



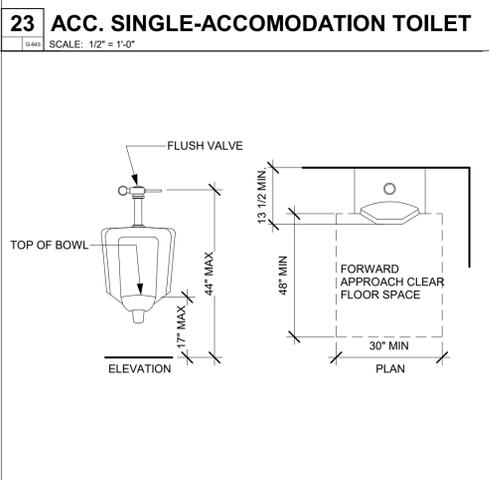
44 ACC. TOILET STALL - SIDE OPENING
SCALE: 1/2" = 1'-0"



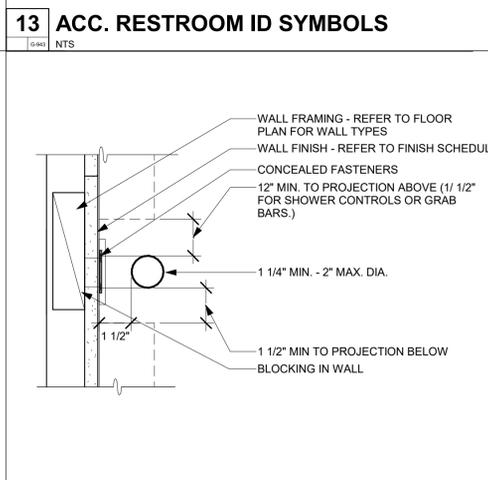
42 ACC. TOILET STALL - END OPG DR
SCALE: 1/2" = 1'-0"



34 ACC. AMBULATORY TOILET STALL
SCALE: 1/2" = 1'-0"



24 ACC. URINAL
SCALE: 1/2" = 1'-0"



14 ACC. GRAB BAR ATTACHMENT
SCALE: 3/8" = 1'-0"

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
ACCESSIBILITY DETAILS - RESTROOMS

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PROJECT MANAGER
JP
DRAWN BY
SD, DDA, AK
CHECKED BY
JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET

G-943



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FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
- REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
- ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS.
- DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
- WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
- SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
- AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
- ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

CONSULTANT

DEMOLITION GENERAL NOTES

- EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY.
- THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAINING ITEMS.
- REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER.
- FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROUND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
- PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN PLACE.
- CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
- ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

AGENCY

KEYNOTES

- 02 4013.X EXISTING WINDOW TO REMAIN
- 02 4100.C EXISTING KITCHEN EQUIPMENT AND CASEWORK TO BE REMOVED AND DISCARDED
- 02 4100.D EXISTING COUNTERTOP AND CASEWORK TO BE REMOVED
- 02 4100.G EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED.
- 02 4100.H EXISTING RESTROOM FLOOR AND WALL TILE TO BE DEMOLISHED
- 02 4116.B3 EXISTING COUNTER TO BE REMOVED.
- 02 4116.B4 EXISTING LAVATORY TO BE REMOVED
- 02 4116.B5 EXISTING TOILET TO BE REMOVED
- 02 4116.D EXISTING COUNTERTOP AND CASEWORK TO BE REMOVED
- 08 1416.A WOOD DOOR. REFER TO DOOR SCHEDULE.
- 08 7100.C REMOVE AND INSTALL NEW DOOR HARDWARE
- 09 7200.D REMOVE EXISTING WALLPAPER THROUGHOUT
- 26 0000.L REMOVE WIRE TRACK, PREP WALL FOR NEW ELECTRICAL BOX
- 26 0000.N TRENCH FOR DATA AND ALL CONDUITS
- 26 0000.P REMOVE AND RELOCATE POWER

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED

A1.4 2x4 FRAMED INTERIOR PARTITION

A1.6 2x6 FRAMED INTERIOR PARTITION

(E) WALL

(N) WALL

(E) SOFFIT

(N) SOFFIT

DOOR TAG

STOREFRONT TAG REFER TO A-601

SIGN TAG REFER TO A-601

NEW COUNTER

PHASE 2

(N) 2x4 ACT CEILING

(E) 2x4 ACT CEILING

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
FIRST FLOOR PLAN - DEMO

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
JP

DRAWN BY
SD, DDA, AK

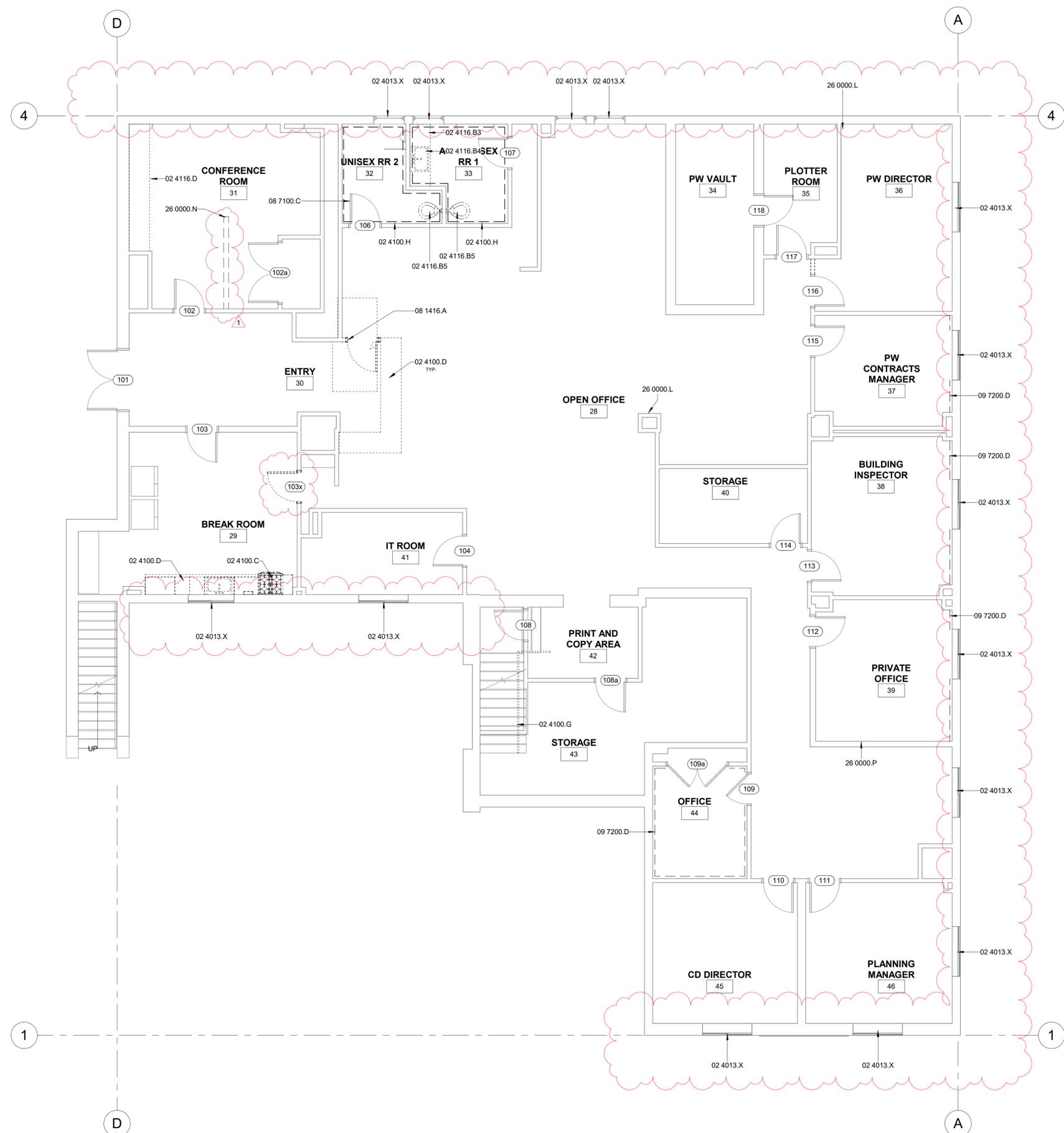
CHECKED BY
JP

DATE
09/27/2024

PROJECT NUMBER
3090-01-CU23

SHEET

AD-101



1 FIRST FLOOR PLAN - DEMO
 A-201 AD-101 SCALE: 3/16" = 1'-0"

10/11/2024 2:14:49 PM Autodesk Docs:1303043 Signal Hill City Hall/3090-01 Signal Hill.rvt

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7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
8. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS.
9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

DEMOLITION GENERAL NOTES

1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONTRACTOR IN DETERMINING THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY.
5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAINING ITEMS.
6. REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER.
8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROUND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN PLACE.
14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/GRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

- 02 4100.F EXISTING WINDOW TO BE DEMOLISHED, PREP WALL TO RECEIVE NEW WINDOW.
- 02 4100.G EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED.
- 02 4100.H EXISTING RESTROOM FLOOR AND WALL TILE TO BE DEMOLISHED
- 02 4100.J EXISTING ACOUSTIC WALL COVERING TO BE DEMOLISHED
- 02 4100.Q EXISTING DOOR FRAME CASING TO BE REMOVED AND REPLACED.
- 02 4100.U EXISTING WINDOW AND DOOR TO BE REMOVED AND REPLACED.
- 02 4116.E EXISTING DOOR TO BE REMOVED AND REPLACED. SEE DOOR SCHEDULE.
- 05 5200.C WOOD HANDRAIL, STAIN TO MATCH ADJACENT WOOD TOP FINISH.
- 09 7200.D REMOVE EXISTING WALLPAPER THROUGHOUT
- 26 0000.L REMOVE WIRE TRACK, PREP WALL FOR NEW ELECTRICAL BOX
- 26 0000.N TRENCH FOR DATA AND ALL CONDUITS

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED

A1.4 2X4 FRAMED INTERIOR PARTITION
A1.6 2X6 FRAMED INTERIOR PARTITION

--- DEMO	A1.6 WALL TAG	NEW COUNTER
(E) WALL	DOOR TAG	PHASE 2
(N) WALL	STOREFRONT TAG REFER TO A-601	(N) 2X4 ACT CEILING
(E) SOFFIT	SIGN TAG REFER TO A-601	(E) 2X4 ACT CEILING
(N) SOFFIT		

CONSULTANT

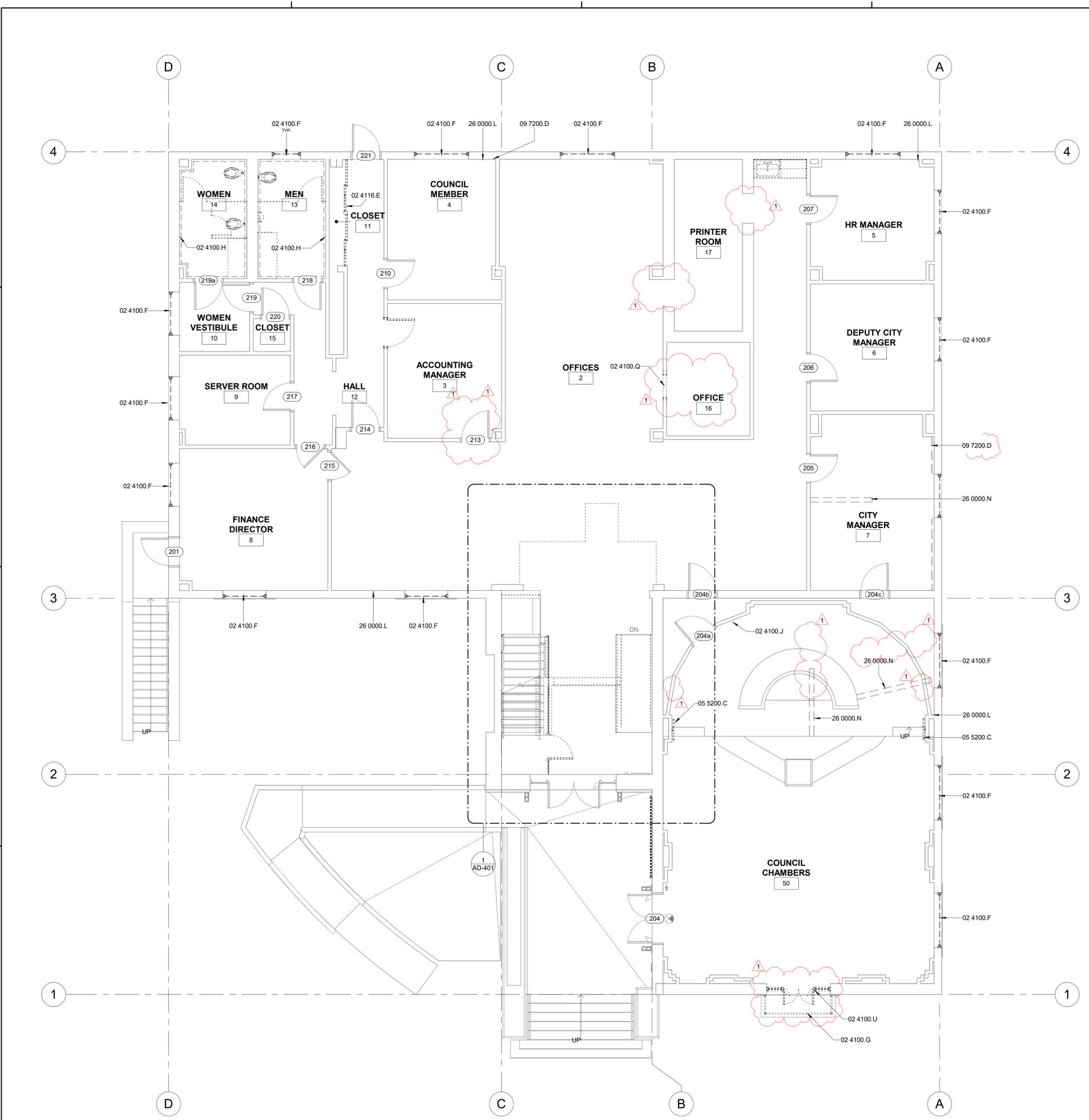
AGENCY

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
SECOND FLOOR PLAN - DEMO

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER JP	
DRAWN BY SD, DDA, AK	CHECKED BY JP
DATE 09/27/2024	
PROJECT NUMBER 3090-01-CU23	
SHEET AD-102	

BID SET



1 SECOND FLOOR PLAN - DEMO

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FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
- REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
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- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

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- PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN PLACE.
- CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
- ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

- 02 4013.D EXISTING DOOR TO BE REMAIN. PROTECT IN PLACE.
- 02 4100.D EXISTING COUNTERTOP AND CASEWORK TO BE REMOVED
- 02 4100.E EXISTING DOOR TO BE DEMOLISHED
- 02 4100.F EXISTING WINDOW TO BE DEMOLISHED, PREP WALL TO RECEIVE NEW WINDOW.
- 02 4100.G EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED.
- 02 4100.H EXISTING RESTROOM FLOOR AND WALL TILE TO BE DEMOLISHED
- 02 4100.P EXISTING URINAL TO BE REMOVED.
- 02 4100.V EXISTING DRINKING FOUNTAIN TO BE REMOVED, PREP WALL AND WATER LINES FOR NEW BOTTLE WATER FILLER.
- 02 4116.B EXISTING TOILET PARTITION TO BE REMOVED
- 08 1416.A WOOD DOOR. REFER TO DOOR SCHEDULE.
- 09 7200.D REMOVE EXISTING WALLPAPER THROUGHOUT
- 26 0000.L REMOVE WIRE TRACK, PREP WALL FOR NEW ELECTRICAL BOX

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED			
A1.4	2X4 FRAMED INTERIOR PARTITION	A1.6	WALL TAG
A1.6	2X6 FRAMED INTERIOR PARTITION	DOOR TAG	NEW COUNTER
-----	DEMO	(S)	STOREFRONT TAG REFER TO A-601
(E) WALL		(RID)	SIGN TAG REFER TO A-601
(N) WALL		(E) SOFFIT	
(E) SOFFIT		(N) SOFFIT	
			(N) 2X4 ACT CEILING
			(E) 2X4 ACT CEILING

CONSULTANT

AGENCY

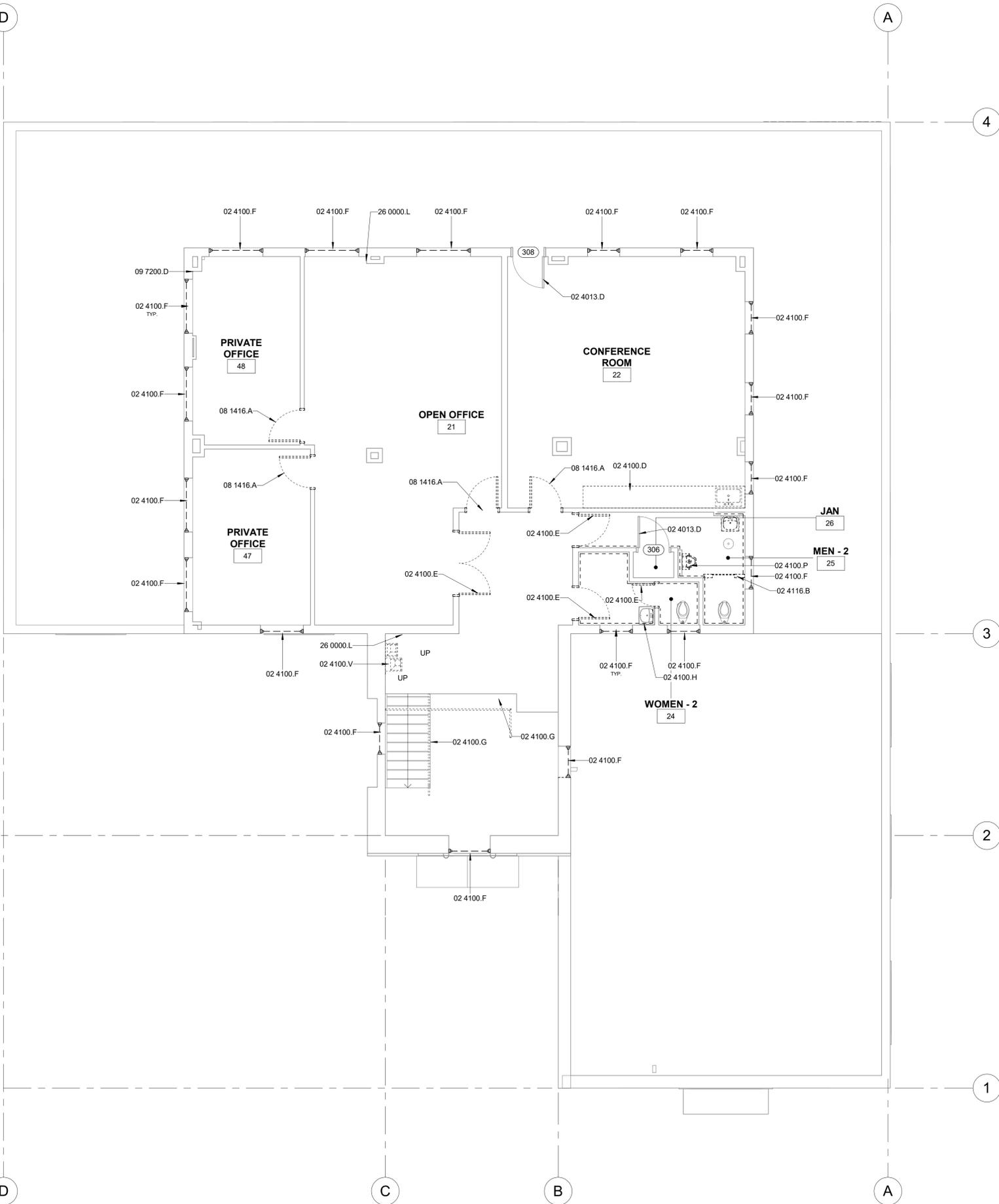
SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
THIRD FLOOR PLAN - DEMO

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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△		
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PROJECT MANAGER
JP
 DRAWN BY
SD, DDA, AK
 CHECKED BY
JP
 DATE
09/27/2024
 PROJECT NUMBER
3090-01-CU23
 SHEET

AD-103

BID SET



1 THIRD FLOOR PLAN - DEMO
 A-201 AD-103 SCALE: 3/16" = 1'-0"

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RCP GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
- HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
- BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPSCREWS.
- CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
- SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING.
- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRAPPING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
- ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION.
- LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRANGED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT LOCATIONS.
- CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

DEMOLITION GENERAL NOTES

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KEYNOTES

- 02 4100.S EXISTING CEILING TO BE REMOVED.
 02 4116.N1 EXISTING ACOUSTICAL LAY-IN TILE CEILING. CEILING TILES TO BE DEMOLISHED
 26 5100.F NEW LAY IN LED LIGHT FIXTURE - OWNER PROVIDED AND OWNER INSTALLED. FIXTURE TO BE MARK WHISPER DC2DC 2X4 WITH SOFT WHITE ACRYLIC LENSE. ARCHITECT TO SELECT FROM FULL RANGE OF COLOR TEMPERATURES.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED	
A1.4	2X4 FRAMED INTERIOR PARTITION
A1.6	2X6 FRAMED INTERIOR PARTITION

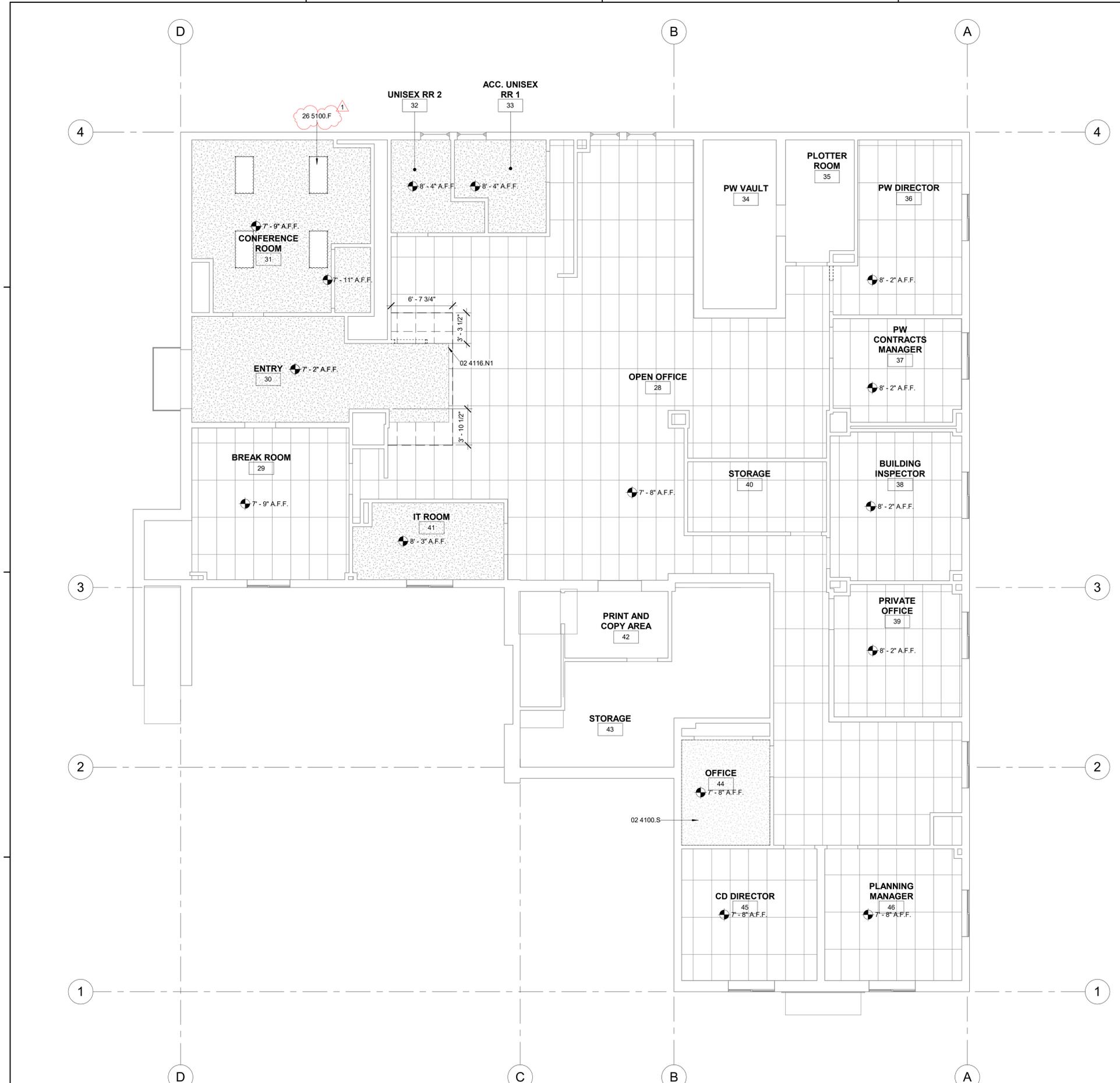
-----	DEMO	A1.6 WALL TAG	NEW COUNTER
(E) WALL	DOOR TAG	DOOR TAG	PHASE 2
(N) WALL	STOREFRONT TAG	REFER TO A-601	(N) 2X4 ACT CEILING
(E) SOFFIT	SIGN TAG	REFER TO A-601	(E) 2X4 ACT CEILING
(N) SOFFIT			

BID SET

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
FIRST FLOOR REFLECTED CEILING PLAN - DEMO

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER	
JP	
DRAWN BY	CHECKED BY
SD, DDA, AK	JP
DATE	
09/27/2024	
PROJECT NUMBER	
3090-01-CU23	
SHEET	
AD-111	



1 FIRST FLOOR REFLECTED CEILING PLAN - DEMO
 A-201 | AD-111 | SCALE: 3/16" = 1'-0"

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- THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAINING ITEMS.
- REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER.
- FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROUND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
- PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN PLACE.
- CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
- ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

- 02 4013.Q EXISTING CEILING GRID TO REMAIN. PAINT EXISTING GRID WHITE (SW PURE WHITE)
- 02 4100.L EXISTING LAY IN LIGHT FIXTURE TO BE DEMOLISHED
- 02 4100.O EXISTING DOWNLIGHT TO BE REMOVED
- 02 4116.B1 EXISTING CEILING EQUIPMENT TO BE REMOVED. CONFIRM WITH CLIENT WHICH ELEMENTS TO BE STORED TO BE RE-INSTALLED AND WHICH TO BE REPLACED.
- 02 4116.B6 EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW FIXTURE. NEW FIXTURE TO MATCH EXISTING. OWNER FURNISHED. OWNER INSTALLED.
- 02 4116.N EXISTING ACOUSTICAL LAY-IN TILE CEILING. CEILING TILES TO BE REMOVED AND REPLACED WITH NEW TILE. REFER TO FINISH SCHEDULE FOR CEILING TILE SPEC.
- 11 5213.B POWERED RETRACTABLE PROJECTION SCREEN

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED		
A1.4	2X4 FRAMED INTERIOR PARTITION	
A1.6	2X6 FRAMED INTERIOR PARTITION	
-----	DEMO	
(E) WALL	A1.6 WALL TAG	NEW COUNTER
(N) WALL	DOOR TAG	PHASE 2
(E) SOFFIT	STOREFRONT TAG REFER TO A-601	(N) 2X4 ACT CEILING
(N) SOFFIT	SIGN TAG REFER TO A-601	(E) 2X4 ACT CEILING

CONSULTANT

AGENCY

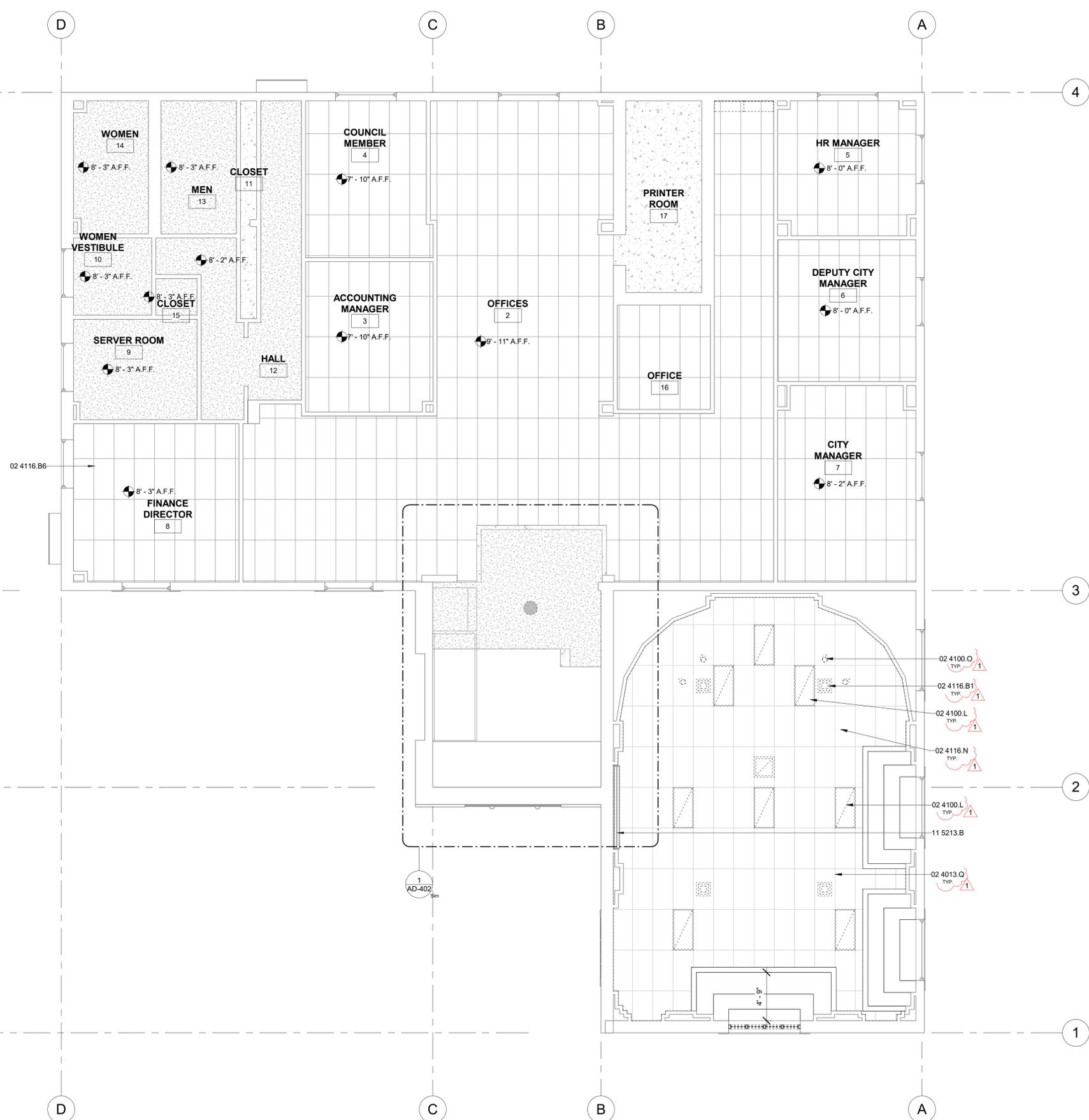
SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
SECOND FLOOR REFLECTED CEILING PLAN - DEMO

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

AD-112

BID SET



1 SECOND FLOOR REFLECTED CEILING PLAN - DEMO

A-201 | AD-112 | SCALE: 3/16" = 1'-0"

10/11/2024 2:14:51 PM Autodesk Docs:3090-01 Signal Hill City Hall/3090-01 Signal Hill.rvt



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CONSULTANT

AGENCY

RCP GENERAL NOTES

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- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
- HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
- BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
- CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
- SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING.
- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
- ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION.
- LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRANGED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT LOCATIONS.
- CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

DEMOLITION GENERAL NOTES

- EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
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- ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

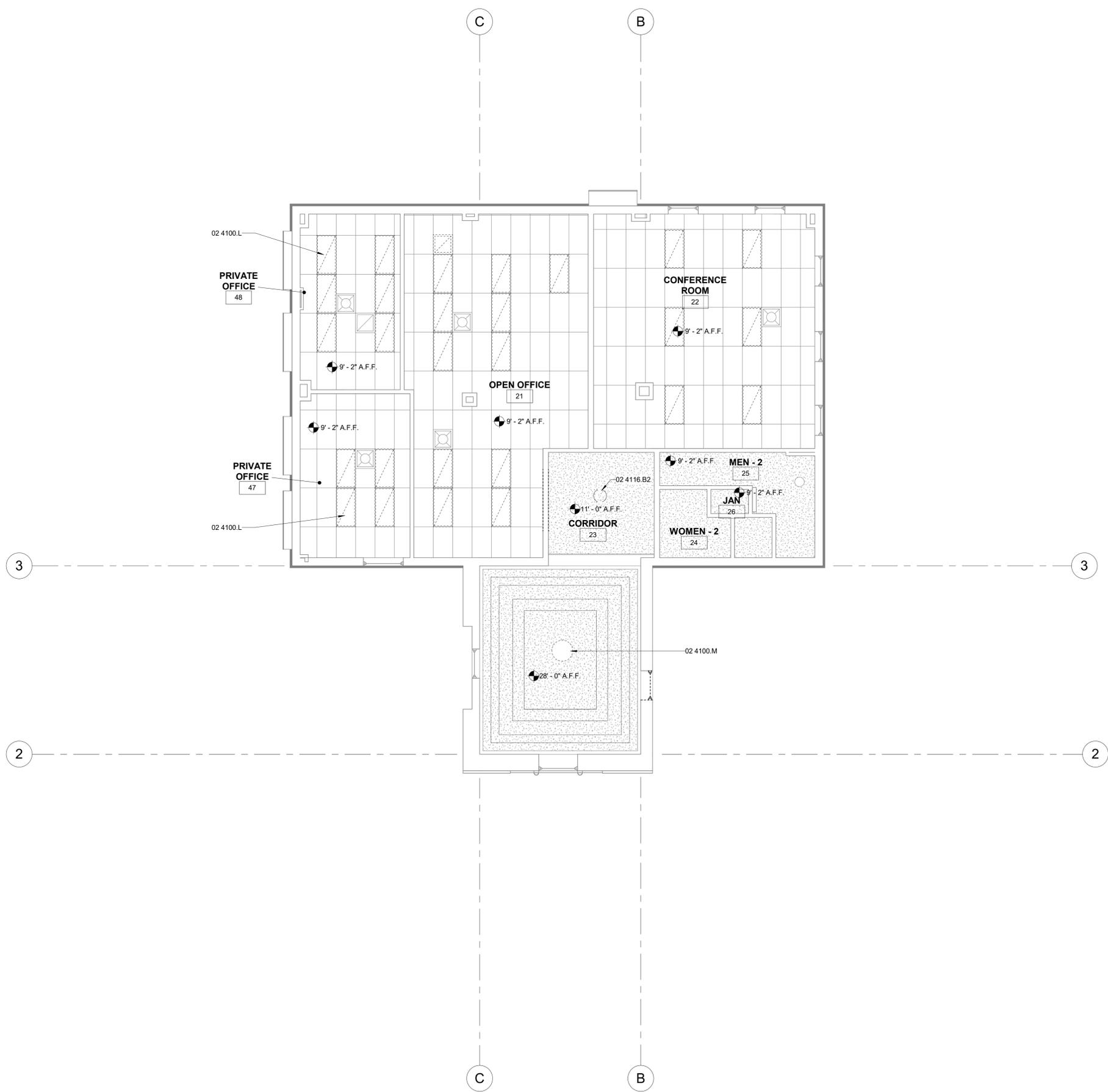
KEYNOTES

- 02 4100 L EXISTING LAY IN LIGHT FIXTURE TO BE DEMOLISHED
- 02 4100 M EXISTING PENDANT FIXTURE TO BE DEMOLISHED
- 02 4116.B2 EXISTING LIGHT FIXTURE TO BE DEMOLISHED.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED		NEW COUNTER	
A1.4	2X4 FRAMED INTERIOR PARTITION	(A1.6)	WALL TAG
A1.6	2X6 FRAMED INTERIOR PARTITION	(###)	DOOR TAG
(E) WALL		(S)	STOREFRONT TAG REFER TO A-601
(N) WALL		(RID)	SIGN TAG REFER TO A-601
(E) SOFFIT		(N) SOFFIT	
(N) SOFFIT			



1 THIRD FLOOR REFLECTED CEILING PLAN - DEMO
A-201 AD-113 SCALE: 3/16" = 1'-0"

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
THIRD FLOOR REFLECTED CEILING PLAN - DEMO

NO.	REVISION	DATE
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PROJECT MANAGER
JP
DRAWN BY
SD, DDA, AK
CHECKED BY
JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET

AD-113

10/11/2024 2:14:51 PM Autodesk Docs:3090-01 Signal Hill City Hall/3090-01 Signal Hill.rvt

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FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS.
- INTERIOR DIMENSIONS ARE TO FACE OF FINISH, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
- ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- ALL INTERIOR WALLS TO BE PATCHED AS REQUIRED FROM DEMO WORK AND REMOVAL OF ALL EXISTING WALL COVERINGS. ALL WALLS TO BE RE-TEXTURED TO PROVIDE A CONSISTENT LEVEL 4 DRYWALL FINISH. ALL WALLS TO BE PAINTED P-1 U.O.N.

DEMOLITION GENERAL NOTES

- EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
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- ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

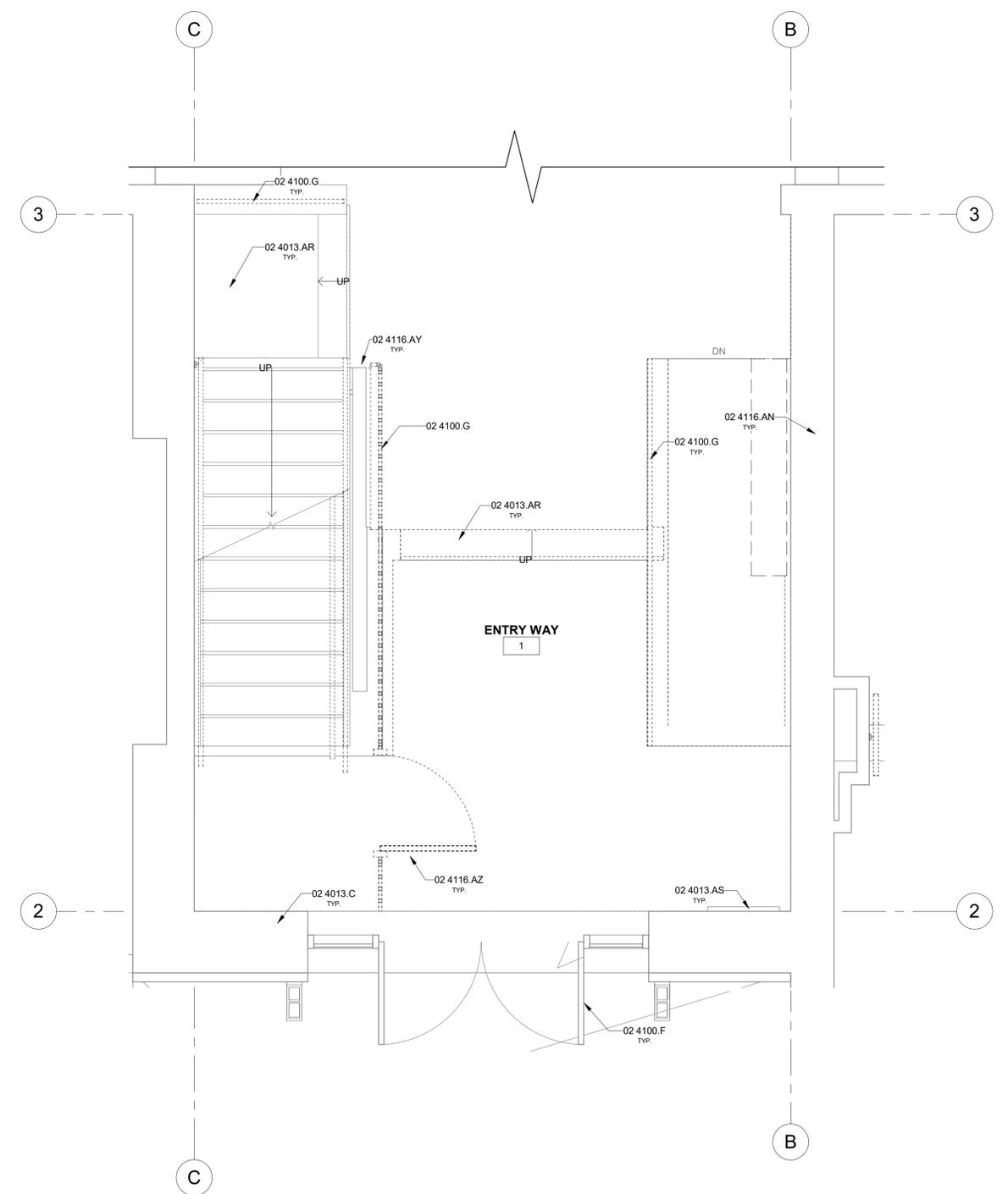
KEYNOTES

- 02 4013.AR EXISTING STAIRS TO REMAIN.
- 02 4013.AS EXISTING MAILBOX TO REMAIN. WOOD TO BE RE-STAIN TO MATCH NEW STAIN ON ADJACENT DOOR.
- 02 4013.C EXISTING WALL TO REMAIN.
- 02 4100.F EXISTING WINDOW TO BE DEMOLISHED, PREP WALL TO RECEIVE NEW WINDOW.
- 02 4100.G EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED.
- 02 4116.AN EXISTING NICHE TO BE DEMOLISHED AND INFILLED. ALIGN NEW FINISH TO EXISTING.
- 02 4116.AY EXISTING RAILING TO BE DEMOLISHED
- 02 4116.AZ EXISTING INTERIOR GATE TO BE DEMOLISHED

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES
TYPE A - INTERIOR NON-RATED
 A1.4 2X4 FRAMED INTERIOR PARTITION
 A1.6 2X6 FRAMED INTERIOR PARTITION

-----	DEMOL	A1.6	WALL TAG	[Pattern]	NEW COUNTER
---	(E) WALL	[Symbol]	DOOR TAG	[Pattern]	PHASE 2
---	(N) WALL	[Symbol]	STOREFRONT TAG REFER TO A-601	[Pattern]	(N) 2X4 ACT CEILING
[Pattern]	(E) SOFFIT	[Symbol]	SIGN TAG REFER TO A-601	[Pattern]	(E) 2X4 ACT CEILING
[Pattern]	(N) SOFFIT				



1 ENLARGED LOBBY FLOOR PLAN - DEMO

A-201 AD-401 SCALE: 1/2" = 1'-0"

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CONSULTANT

AGENCY

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
ENLARGED LOBBY FLOOR PLAN - DEMO

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

AD-401

BID SET



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AGENCY

RCP GENERAL NOTES

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- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
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KEYNOTES

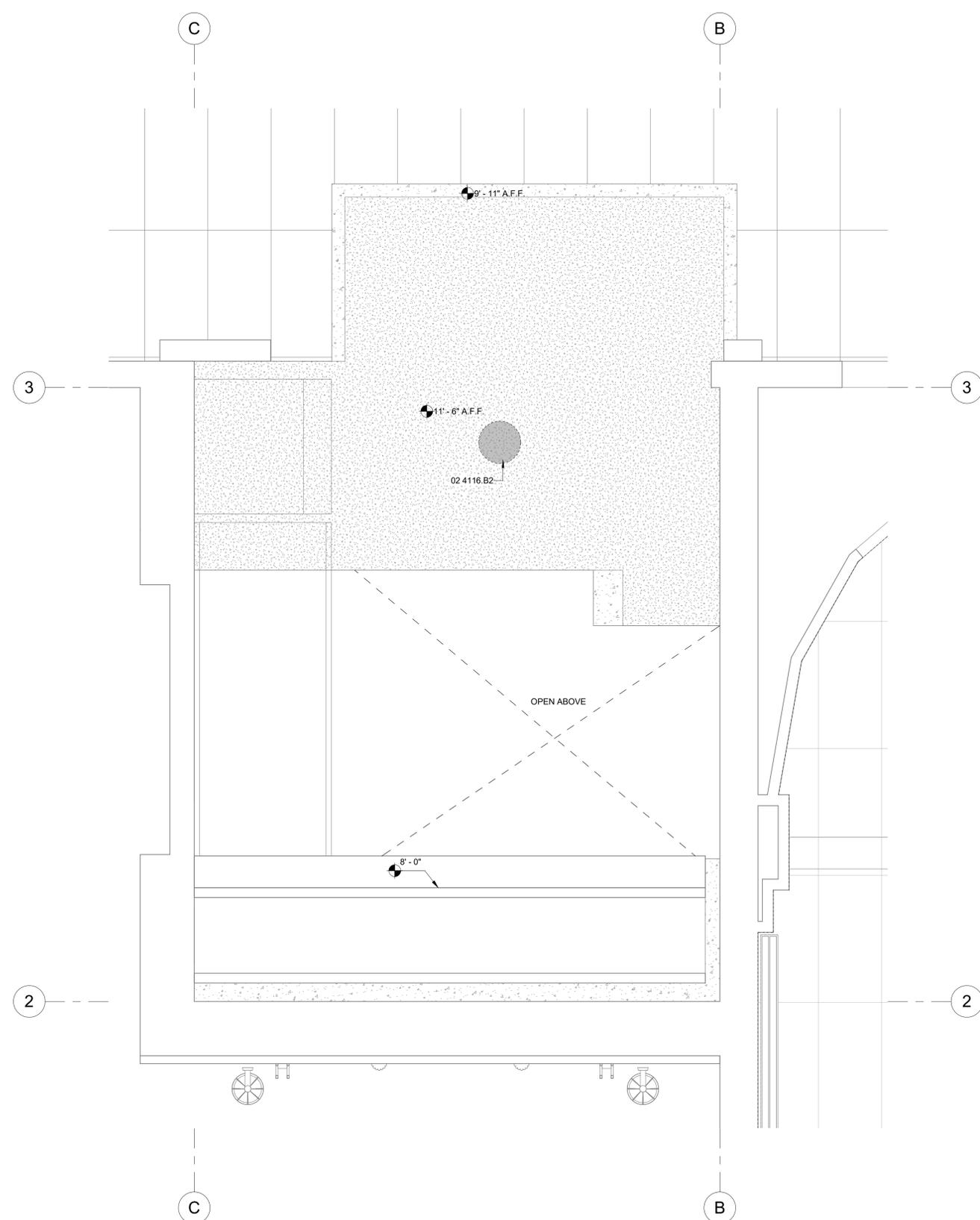
02 4116.B2 EXISTING LIGHT FIXTURE TO BE DEMOLISHED.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED
 A1.4 2X4 FRAMED INTERIOR PARTITION
 A1.6 2X6 FRAMED INTERIOR PARTITION

- DEMO
- (E) WALL
- (N) WALL
- (E) SOFFIT
- (N) SOFFIT
- A1.6 WALL TAG
- DOOR TAG
- STOREFRONT TAG REFER TO A-601
- SIGN TAG REFER TO A-601
- NEW COUNTER
- PHASE 2
- (N) 2X4 ACT CEILING
- (E) 2X4 ACT CEILING



1 ENLARGED LOBBY REFLECTED CEILING PLAN - DEMO

A-201 AD-402 SCALE: 1/2" = 1'-0"

10/11/2024 2:14:51 PM Autodesk Docs:3090-03 Signal Hill City Hall/3090-01 Signal Hill.rvt

BID SET

**SIGNAL HILL CITY HALL - LOBBY
 MODERNIZATION**
 2175 Cherry Ave, Signal Hill, CA 90755
**ENLARGED LOBBY REFLECTED
 CEILING PLAN - DEMO**

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

AD-402



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CONSULTANT

AGENCY

FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
- REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
- ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS.
- DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
- WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
- SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
- AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
- ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

KEYNOTES

- 05 5200.A NEW DECORATIVE METAL RAILINGS. REFER TO A-601 AND FINISH SCHEDULE FOR MORE INFORMATION.
- 06 4100.Q NEW CABINETS AND COUNTERTOPS - REFER TO INTERIOR ELEVATIONS AND FINISH PLANS/SCHEDULE
- 10 2800.G SEMI-RECESSED PAPER TOWEL DISPENSER
- 11 3100.A NEW WHIRLPOOL 34" TALL RANGE WEE515SALS; CONTRACTOR FURNISHED AND INSTALLED. COORDINATE INSTALLATION WITH OWNER. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC.
- 12 3600.F NEW RECEPTION COUNTER
- 22 0000.W NEW BLANCO PRECIS UNDERMOUNT ADA SINK. CONTRACTOR FURNISHED, CONTRACTOR INSTALLED. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS
- 26 0000.M PROVIDE TV WALL BOX FOR POWER AND DATA AT 5' BY OTHER
- 26 0000.N TRENCH FOR DATA AND ALL CONDUITS
- 26 0000.O RUN CONDUIT THROUGH WALL PROVIDE NEW BOX
- 26 0000.Q PROVIDE RELOCATED POWER
- 26 0000.R PLACE CONDUIT IN WALL AND BOX

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED	
A1.4	2X4 FRAMED INTERIOR PARTITION
A1.6	2X6 FRAMED INTERIOR PARTITION

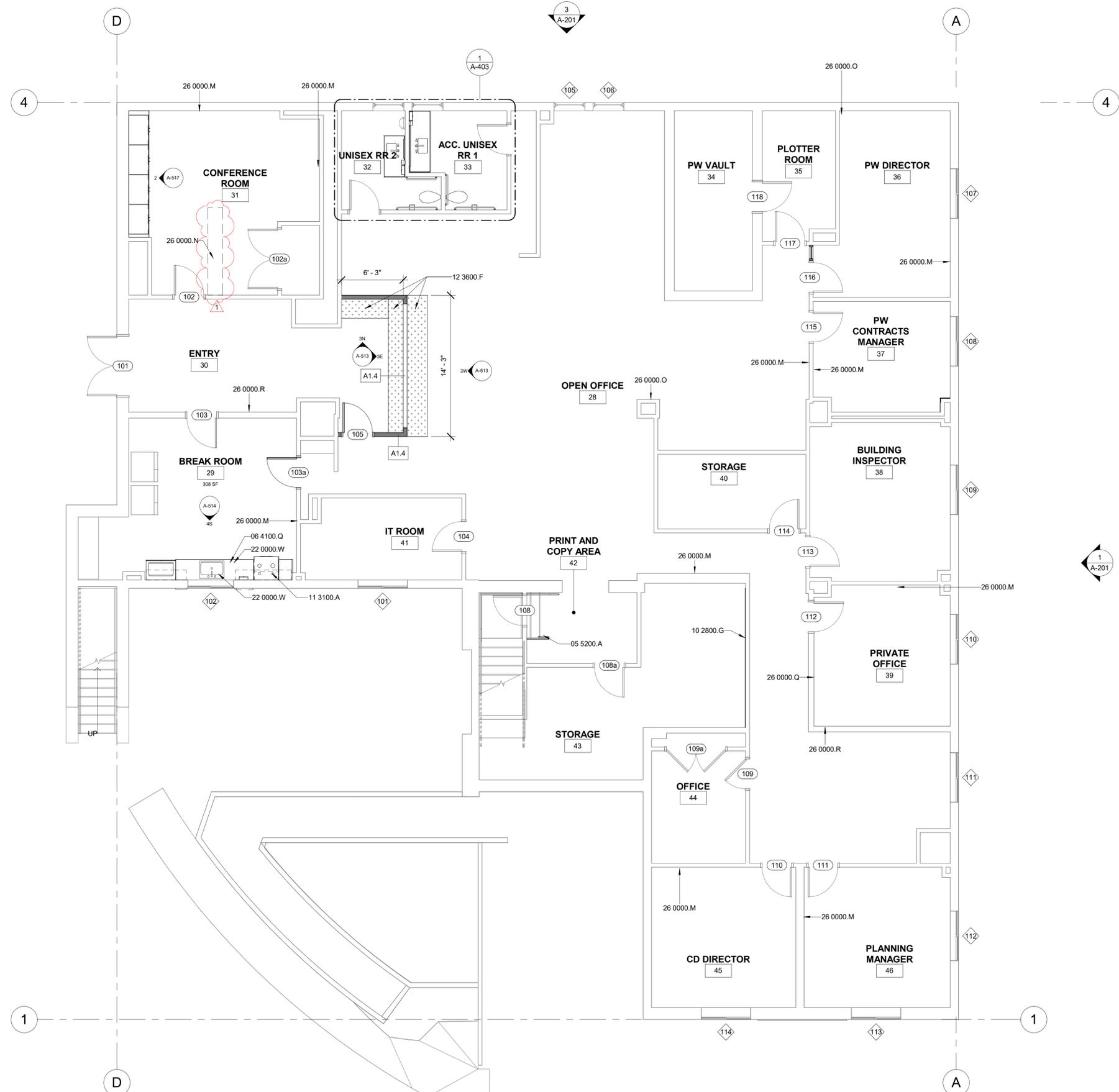
-----	DEMO	A1.6	WALL TAG	[Pattern]	NEW COUNTER
---	(E) WALL	DOOR TAG			
---	(N) WALL	S	STOREFRONT TAG REFER TO A-601	[Pattern]	PHASE 2
[Pattern]	(E)SOFFIT	RID	SIGN TAG REFER TO A-601	[Pattern]	(N) 2X4 ACT CEILING
[Pattern]	(N) SOFFIT			[Pattern]	(E) 2X4 ACT CEILING

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
FIRST FLOOR PLAN

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET
A-101

BID SET



1 FIRST FLOOR PLAN
 A-201 | A-101 | SCALE: 3/16" = 1'-0"

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FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
- REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
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- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS.
- DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
- WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
- SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
- AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
- ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

CONSULTANT

AGENCY

KEYNOTES

- 02 4013.F EXISTING CONCRETE TO BE PROTECTED IN PLACE.
- 05 5200.C WOOD HANDRAIL, STAIN TO MATCH ADJACENT WOOD TOP FINISH.
- 05 5200.F NEW DECORATIVE RAILING TO MATCH EXISTING.
- 06 1000.P FURRING FOR WIRE MANAGEMENT
- 06 4100.Q NEW CABINETS AND COUNTERTOPS - REFER TO INTERIOR ELEVATIONS AND FINISH PLANS/SCHEDULE
- 08 1416.A WOOD DOOR. REFER TO DOOR SCHEDULE.
- 09 2116.I NEW GYPSUM WALL BOARD TO BE FINISHED AND PAINTED.
- 09 8400.A NEW SOUND ABSORBITIVE PANELS - REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MORE INFORMATION.
- 09 8400.B NEW SOUND ABSORBITIVE WOOD PANELS - REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MORE INFORMATION.
- 09 9300.A EXISTING DIAS DESK AND FURNITURE TO BE RE-STAINED. REFER TO FINISH SCHEDULE FOR STAIN COLOR.
- 10 1100.E VISUAL DISPLAY SIGNAGE PANEL
- 22 0000.W NEW BLANCO PRECIS UNDERMOUNT ADA SINK. CONTRACTOR FURNISHED, CONTRACTOR INSTALLED. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS
- 26 0000.K ALL EXISTING SURFACE MOUNTED CONDUIT TO BE RELOCATE WITHIN WALL CAVITY OF COUNCIL CHAMBER ROOM. PATCH AND REPAIR DRYWALL AS REQUIRED.
- 26 0000.M PROVIDE TV WALL BOX FOR POWER AND DATA AT 5' BY OTHER TRENCH FOR DATA AND ALL CONDUITS
- 26 0000.O RUN CONDUIT THROUGH WALL PROVIDE NEW BOX
- 26 0533.A PANDUIT ABOVE FLOOR RACEWAY BASE AND COVER. ARCHITECT TO SELECT FINISH COLOR.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES

TYPE A - INTERIOR NON-RATED	
A1.4	2X4 FRAMED INTERIOR PARTITION
A1.6	2X6 FRAMED INTERIOR PARTITION

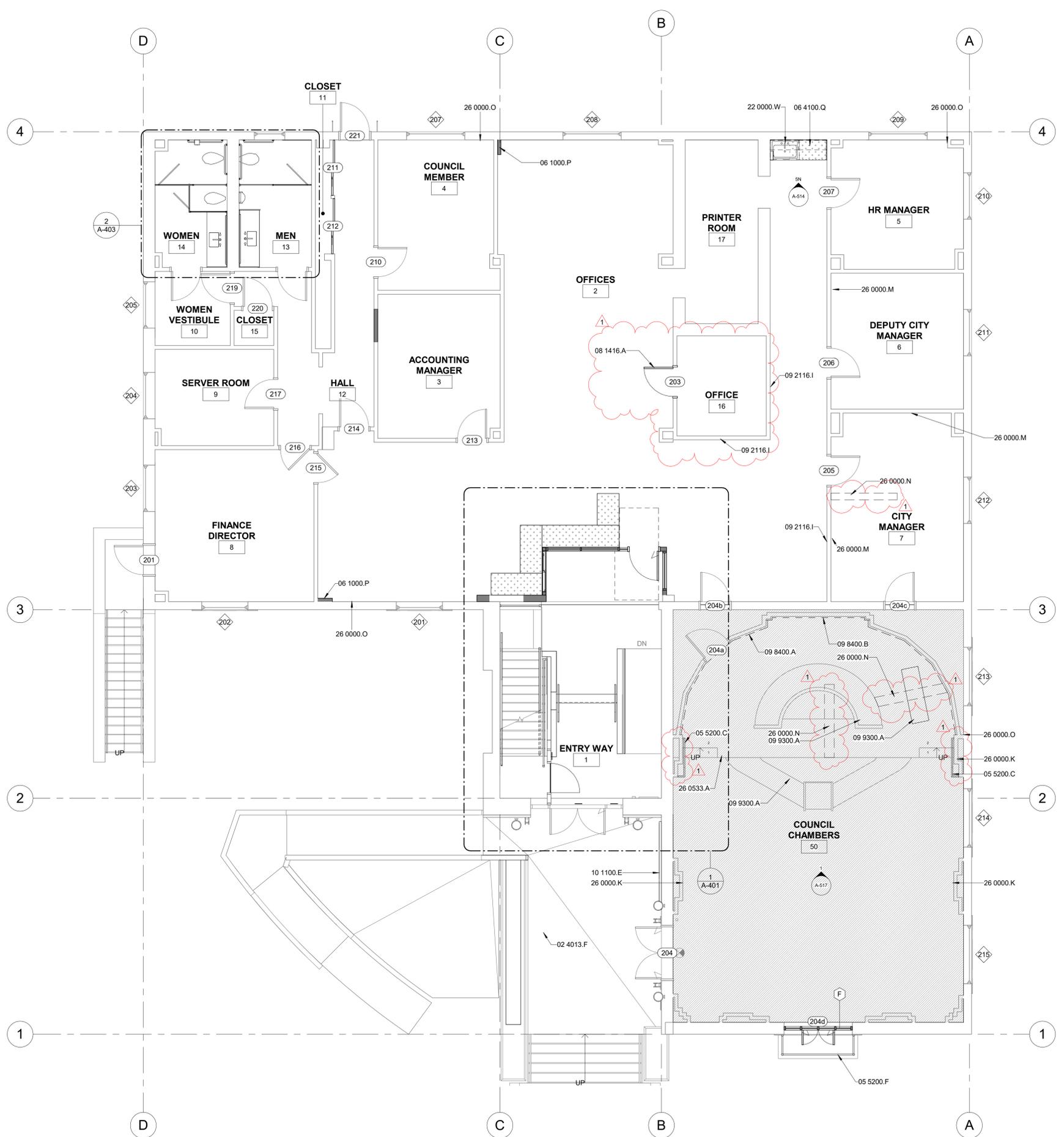
DEMO	WALL TAG	NEW COUNTER
(E) WALL	DOOR TAG	PHASE 2
(N) WALL	STOREFRONT TAG REFER TO A-601	(N) 2X4 ACT CEILING
(E) SOFFIT	SIGN TAG REFER TO A-601	(E) 2X4 ACT CEILING
(N) SOFFIT		

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
SECOND FLOOR PLAN

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

A-102



1 SECOND FLOR PLAN
 A-201 | A-102 SCALE: 3/16" = 1'-0"

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AGENCY

FLOOR PLAN GENERAL NOTES

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- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS.
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- ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

KEYNOTES

- 02 4100.G EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED.
- 02 4116.G EXISTING WINDOWS TO BE REMOVED
- 05 5200.A NEW DECORATIVE METAL RAILINGS. REFER TO A-601 AND FINISH SCHEDULE FOR MORE INFORMATION.
- 06 4100.Q NEW CABINETS AND COUNTERTOPS - REFER TO INTERIOR ELEVATIONS AND FINISH PLANS/SCHEDULE
- 08 8000.F FUTURE GLASS PARTITION - UNDER SEPARATE CONTRACT AND SHOWN FOR COORDINATION ONLY.
- 09 3000.A CERAMIC TILE, WALL APPLICATION.
- 22 0000.J NEW MOEN SMYTH 5770 SINGLE-HANDLE HIGH ARC PULLDOWN BAR KITCHEN FAUCET. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS.
- 22 0000.O NEW "HAWS 1212SFH HI LOW DRINKING FOUNTAIN. REFER TO 54/A-903 DETAIL. PROVIDE STAINLESS STEEL SPLASH SHEET BEHIND FIXTURE."
- 22 0000.Y NEW HAWS RVIVE HYDRATION STATION RECESSED BOTTLE WATER FILLER MODEL 2000HS.
- 26 0000.M PROVIDE TV WALL BOX FOR POWER AND DATA AT 5' BY OTHER
- 26 0000.O RUN CONDUIT THROUGH WALL PROVIDE NEW BOX

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES
 TYPE A - INTERIOR NON-RATED
 A1.4 2X4 FRAMED INTERIOR PARTITION
 A1.6 2X6 FRAMED INTERIOR PARTITION

-----	DEMO	A1.6	WALL TAG	[Pattern]	NEW COUNTER
---	(E) WALL	DOOR	DOOR TAG	[Pattern]	PHASE 2
---	(N) WALL	S	STOREFRONT TAG REFER TO A-601	[Pattern]	(N) 2X4 ACT CEILING
[Pattern]	(E) SOFFIT	RID	SIGN TAG REFER TO A-601	[Pattern]	(E) 2X4 ACT CEILING
[Pattern]	(N) SOFFIT				

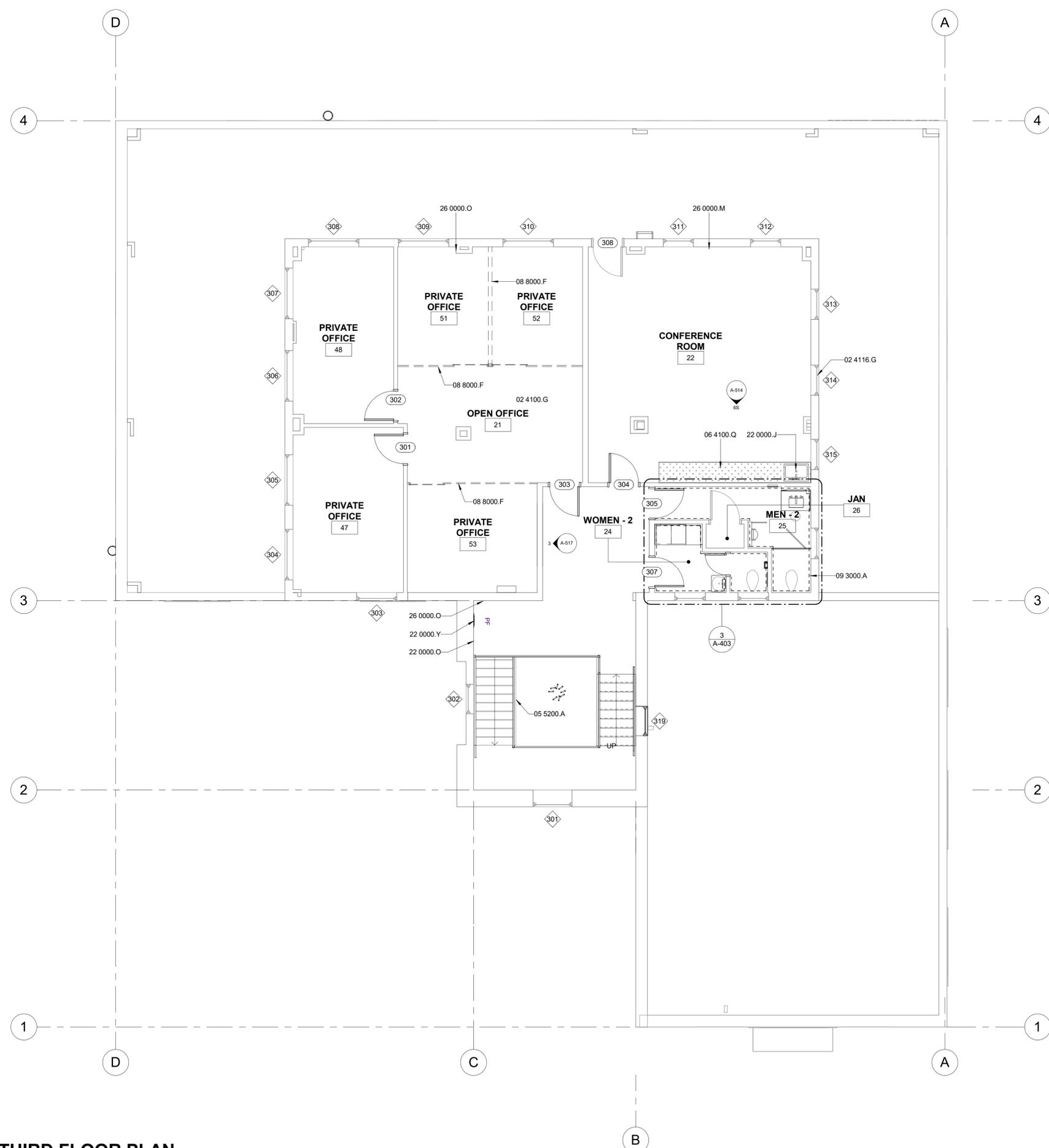
SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
THIRD FLOOR PLAN

NO.	REVISION	DATE

PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

A-103

BID SET



1 THIRD FLOOR PLAN
 A-201 A-103 SCALE: 3/16" = 1'-0"

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RCP GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
- HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
- BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
- CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
- SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION.
- LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRANGED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT LOCATIONS.
- CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

CONSULTANT

AGENCY

KEYNOTES

- 09 5000.A NEW SOFFIT CEILING AT NEW WALL LOCATIONS.
- 09 5100.F NEW ACOUSTICAL LAY-IN TILE CEILING TO MATCH ADJACENT

LEGEND

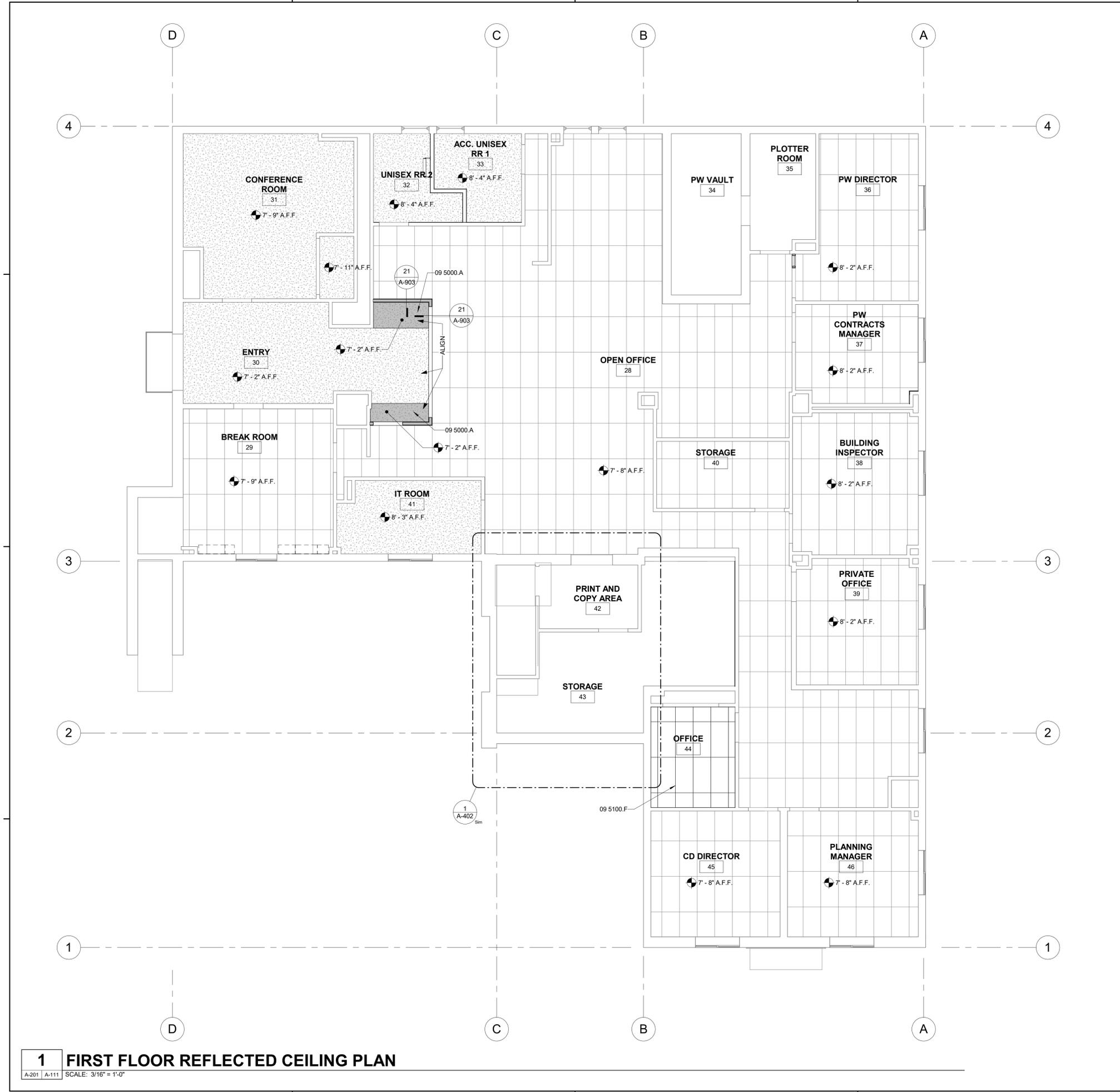
REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES		
TYPE A - INTERIOR NON-RATED		
A1.4	2X4 FRAMED INTERIOR PARTITION	
A1.6	2X6 FRAMED INTERIOR PARTITION	
-----	DEMO	
---	(E) WALL	
---	(N) WALL	
---	(E) SOFFIT	
---	(N) SOFFIT	
A1.6	WALL TAG	
###	DOOR TAG	
S	STOREFRONT TAG REFER TO A-601	
RID	SIGN TAG REFER TO A-601	
---	NEW COUNTER	
---	PHASE 2	
---	(N) 2X4 ACT CEILING	
---	(E) 2X4 ACT CEILING	

NO.	REVISION	DATE
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PROJECT MANAGER
JP
DRAWN BY
SD, DDA, AK
CHECKED BY
JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET

A-111

BID SET



1 FIRST FLOOR REFLECTED CEILING PLAN
A-201 | A-111 | SCALE: 3/16" = 1'-0"

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- REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
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- BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
- CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
- SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION.
- LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT LOCATIONS.
- CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

CONSULTANT

AGENCY

KEYNOTES

- 02 4116.B6 EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW FIXTURE. NEW FIXTURE TO MATCH EXISTING. OWNER FURNISHED, OWNER INSTALLED.
- 06 1000.O PROVIDE BLOCKING FOR NEW WALL WASH LIGHT FIXTURES
- 26 5100.F NEW LAY IN LED LIGHT FIXTURE - OWNER PROVIDED AND OWNER INSTALLED. FIXTURE TO BE MARK WHISPER DC2DC 2X4 WITH SOFT WHITE ACRYLIC LENSE ARCHITECT TO SELECT FROM FULL RANGE OF COLOR TEMPERATURES.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES
 TYPE A - INTERIOR NON-RATED
 A1.4 2X4 FRAMED INTERIOR PARTITION
 A1.6 2X6 FRAMED INTERIOR PARTITION

-----	DEMO	A1.6	WALL TAG	[Pattern]	NEW COUNTER
---	(E) WALL	---	DOOR TAG	[Pattern]	PHASE 2
---	(N) WALL	S	STOREFRONT TAG REFER TO A-601	[Pattern]	(N) 2X4 ACT CEILING
[Pattern]	(E) SOFFIT	RID	SIGN TAG REFER TO A-601	[Pattern]	(E) 2X4 ACT CEILING
[Pattern]	(N) SOFFIT				

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
JP

DRAWN BY
SD, DDA, AK

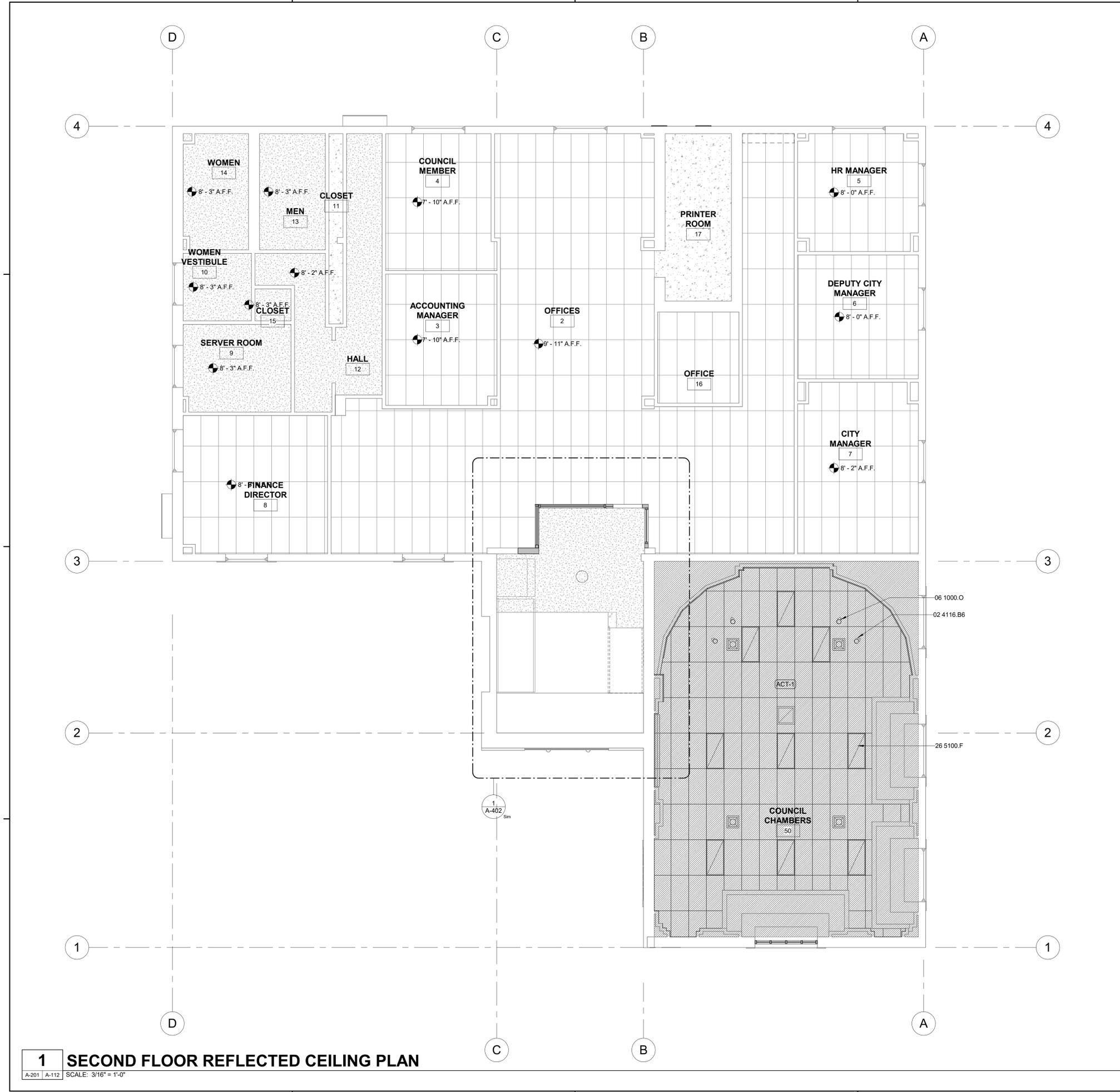
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JP

DATE
09/27/2024

PROJECT NUMBER
3090-01-CU23

SHEET
A-112

BID SET



1 SECOND FLOOR REFLECTED CEILING PLAN
 A-201 A-112 SCALE: 3/16" = 1'-0"

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RCP GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
- HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
- BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
- CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
- SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION.
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- SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT LOCATIONS.
- CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

CONSULTANT

AGENCY

KEYNOTES

- 02 4013.G EXISTING LIGHT FIXTURES TO REMAIN.
- 08 8000.F FUTURE GLASS PARTITION - UNDER SEPARATE CONTRACT AND SHOWN FOR COORDINATION ONLY.
- 23 0000.L NEW HVAC ADJUSTMENTS TO ACCOMMODATE NEW WALLS.
- 26 5100.D NEW SEMI FLUSH CEILING LIGHT FIXTURE. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS. OWNER FURNISHED CONTRACTOR INSTALLED
- 26 5100.F NEW LAY IN LED LIGHT FIXTURE - OWNER PROVIDED AND OWNER INSTALLED. FIXTURE TO BE MARK WHISPER DC2DC 2X4 WITH SOFT WHITE ACRYLIC LENSE. ARCHITECT TO SELECT FROM FULL RANGE OF COLOR TEMPERATURES.
- 26 5100.G NEW PENDANT LIGHT FIXTURE - SAVEA 9 LIGHT UNIQUE CHANDELIER LARGE LONG CLUSTER PENDANT. OWNER PROVIDED. CONTRACTOR INSTALLED.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES
 TYPE A - INTERIOR NON-RATED

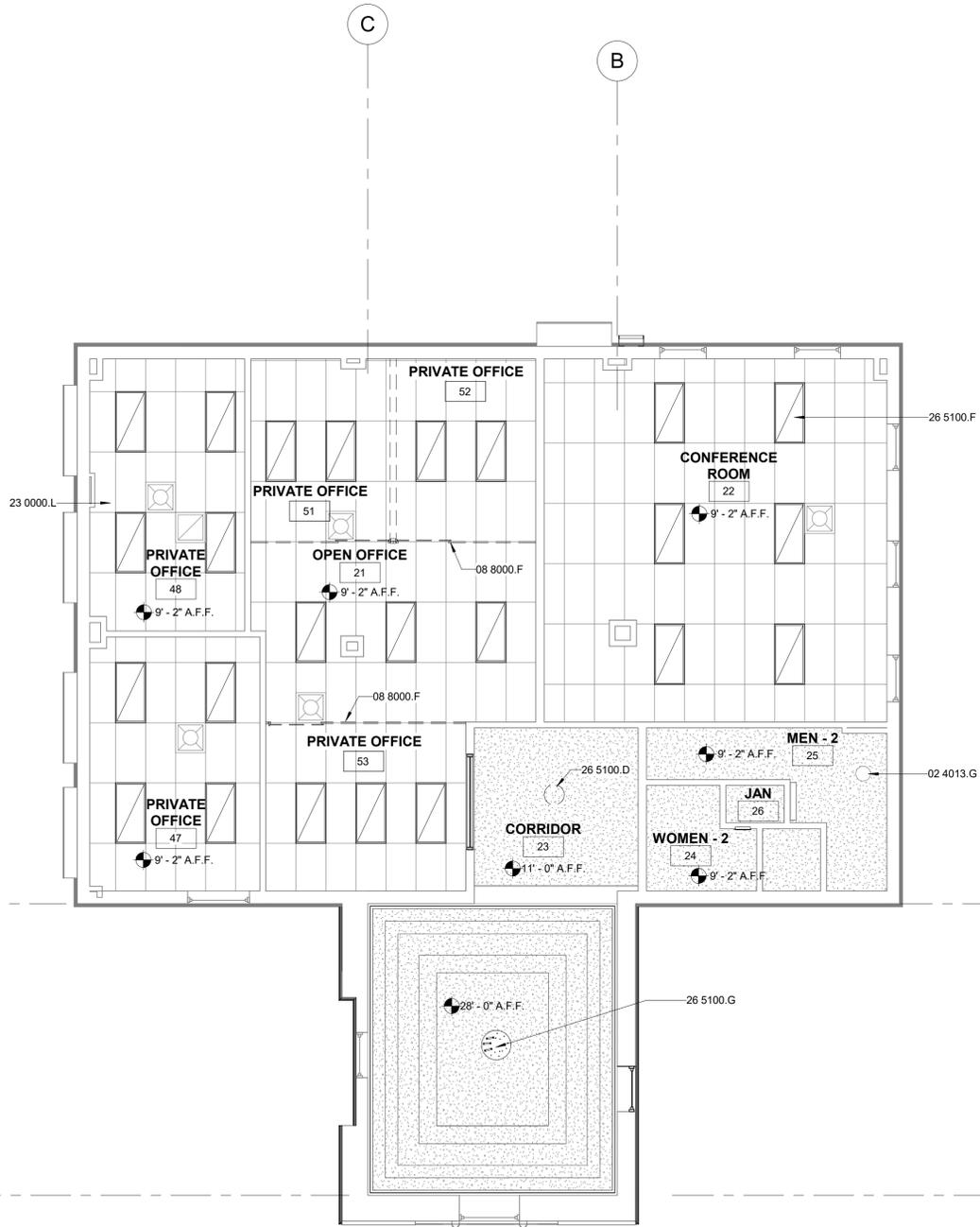
.....	DEMO	A1.6	WALL TAG	[Pattern]	NEW COUNTER
---	(E) WALL	---	DOOR TAG	[Pattern]	PHASE 2
---	(N) WALL	S	STOREFRONT TAG REFER TO A-601	[Pattern]	(N) 2X4 ACT CEILING
[Pattern]	(E) SOFFIT	RID	SIGN TAG REFER TO A-601	[Pattern]	(E) 2X4 ACT CEILING
[Pattern]	(N) SOFFIT				

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

A-113

BID SET



1 THIRD FLOOR REFLECTED CEILING PLAN

A-201 A-113 SCALE: 3/16" = 1'-0"

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AGENCY

ELEVATION GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS. FASCIA PER DETAILS.
- SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
- SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS. PAINT TO MATCH ADJACENT FINISH.
- CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.
- CONTRACTOR TO SACK AND PATCH EXISTING WALLS AS NECESSARY.
- CONTRACTOR TO WALK WITH OWNER AND NOTE EXTENT OF MISC STUCCO REPAIR

KEYNOTES

- 10 1400.C NEW ILLUMINATED ENTRY SIGNAGE.
 10 7313.A PROVIDE NEW FABRIC AT AWNINGS. FABRIC TO BE FADE RESISTANT, OFFER UV PROTECTION, WEATHER RESISTANT AND BE MOLD AND MILDEW RESISTENT. ARCHITECT TO SELECT FROM FULL RANGE OF COLOR OPTIONS.

EXTERIOR MATERIAL LEGEND

- EXTERIOR ELEMENTS TO BE PAINTED**
- EXISTING EXTERIOR STUCCO TO BE PAINTED SHERWIN WILLIAMS - DRIFT OF MIST (SW 9166)
 - EXTERIOR DETAILING (FLASHING, STUCCO, ETC) TO BE PAINTED AS INDICATED SHERWIN WILLIAMS - CITYSCAPE (SW 7067)
 - (E) CONCRETE WALL WITH STUCCO FINISH TO BE REPAIRED AND REFINISHED

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
EXTERIOR ELEVATIONS

NO.	REVISION	DATE

PROJECT MANAGER
JP

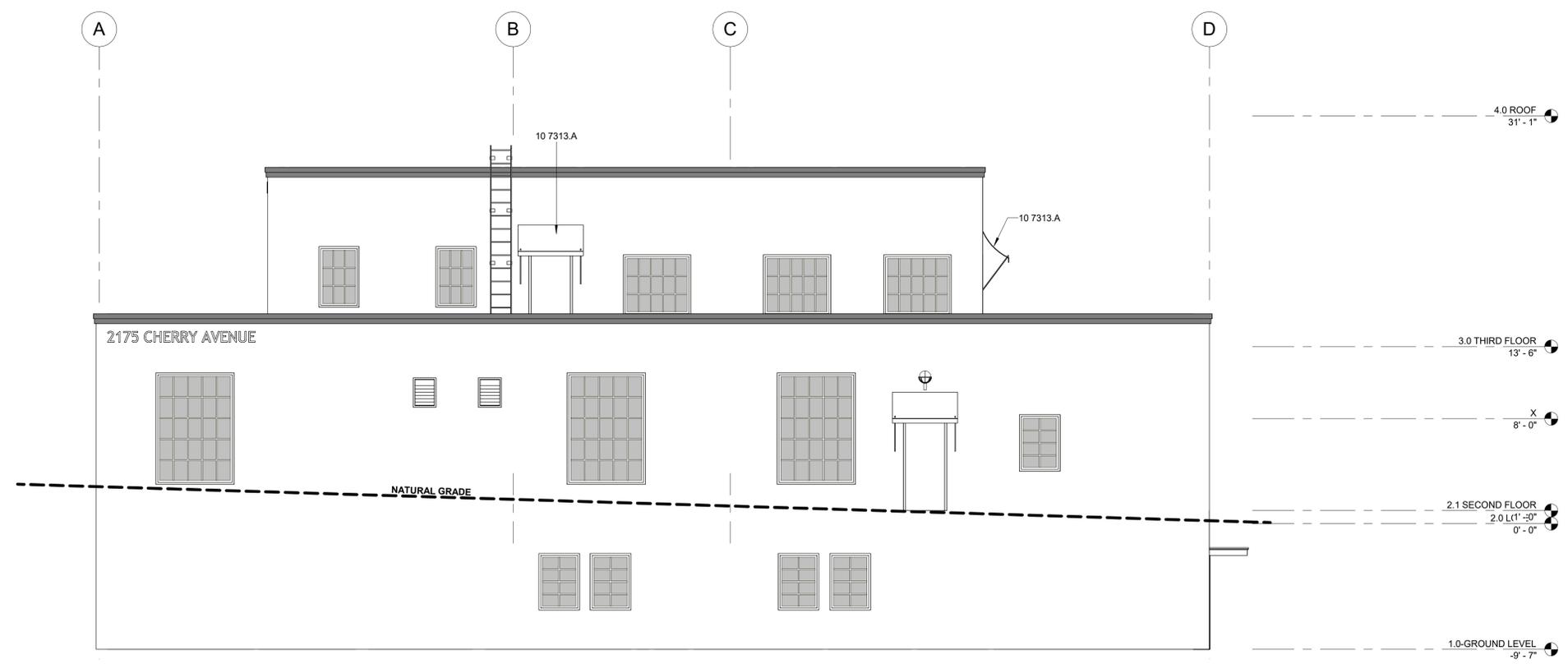
DRAWN BY SD, DDA, AK **CHECKED BY** JP

DATE
09/27/2024

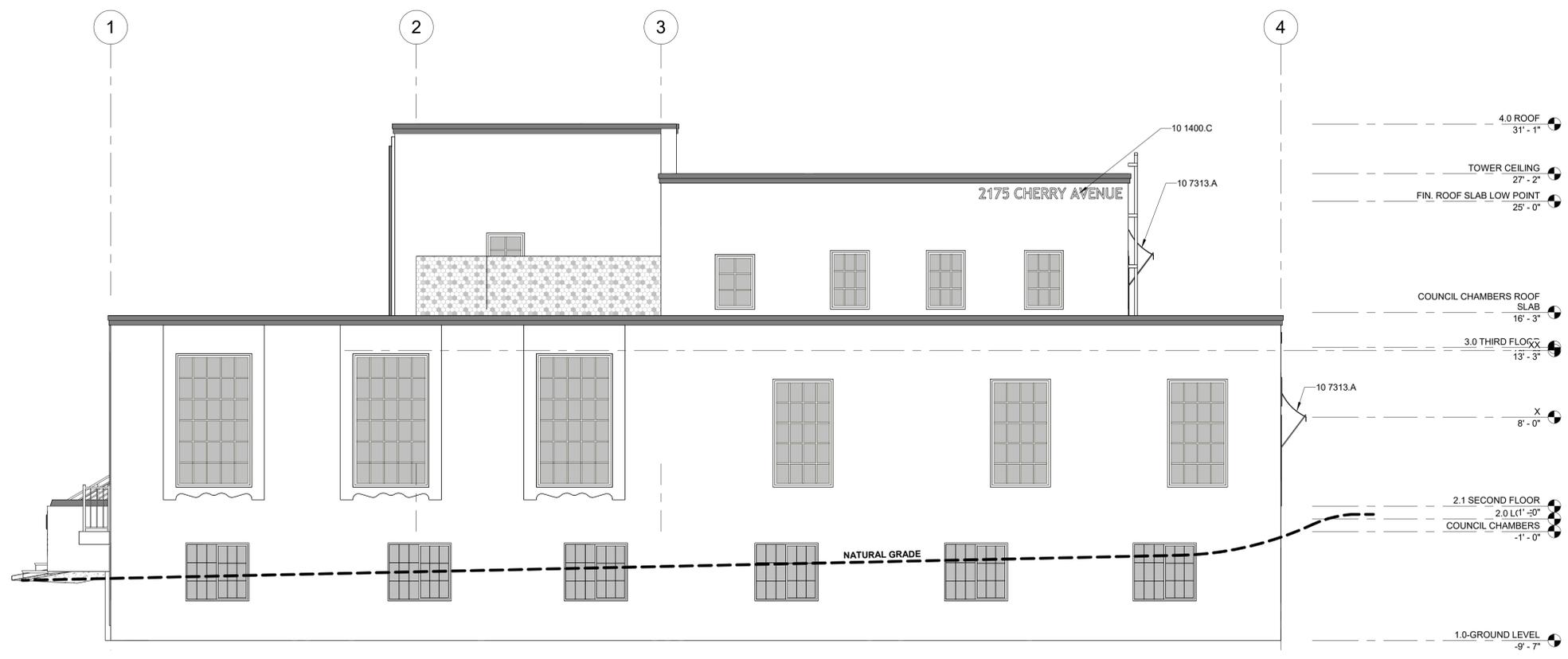
PROJECT NUMBER
3090-01-CU23

SHEET
A-201

BID SET



3 NORTH ELEVATION
 A-101 | A-201 SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
 A-101 | A-201 SCALE: 3/16" = 1'-0"

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ELEVATION GENERAL NOTES

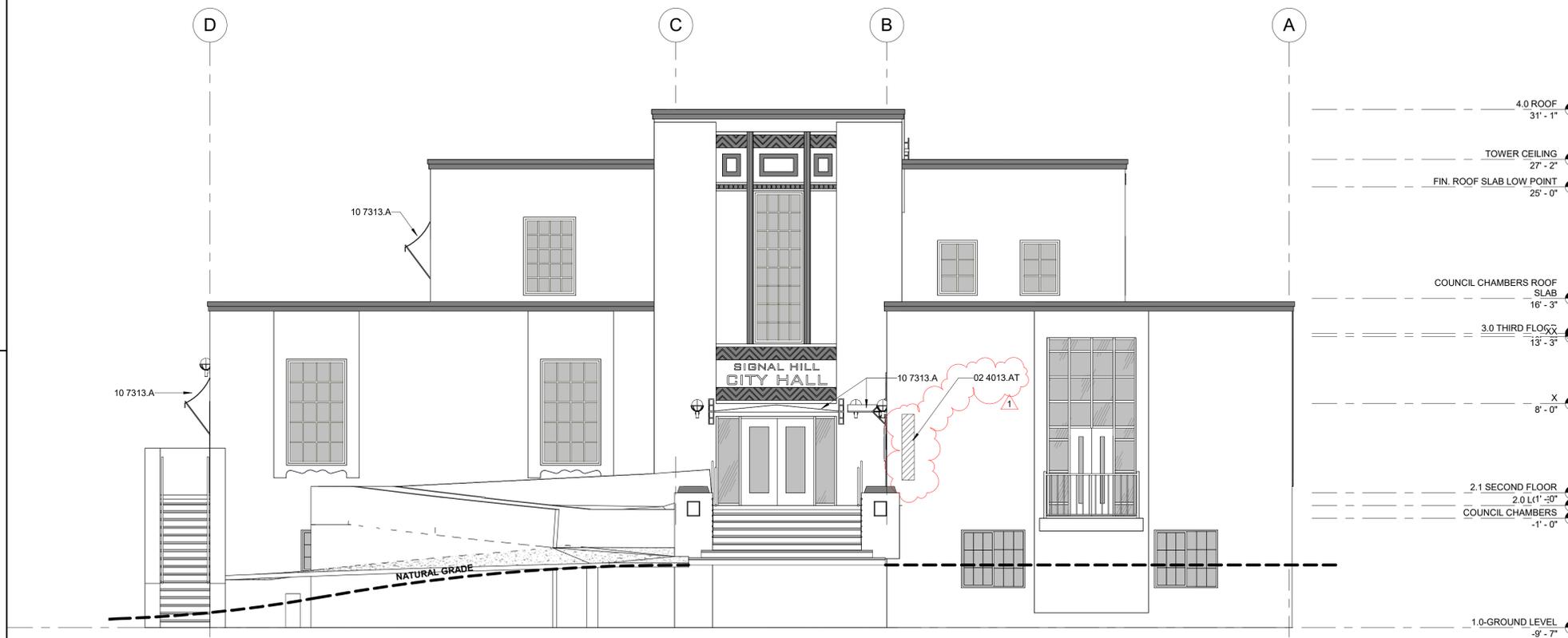
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7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS. PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.
10. CONTRACTOR TO SACK AND PATCH EXISTING WALLS AS NECESSARY.
11. CONTRACTOR TO WALK WITH OWNER AND NOTE EXTENT OF MISC STUCCO REPAIR

KEYNOTES

- 02 4013.AT EXISTING CONCRETE WALL WITH STUCCO FINISH TO BE REPAIRED AND REFINISHED.
- 10 7313.A PROVIDE NEW FABRIC AT AWNINGS. FABRIC TO BE FADE RESISTANT, OFFER UV PROTECTION, WEATHER RESISTANT AND BE MOLD AND MILDEW RESISTANT. ARCHITECT TO SELECT FROM FULL RANGE OF COLOR OPTIONS.

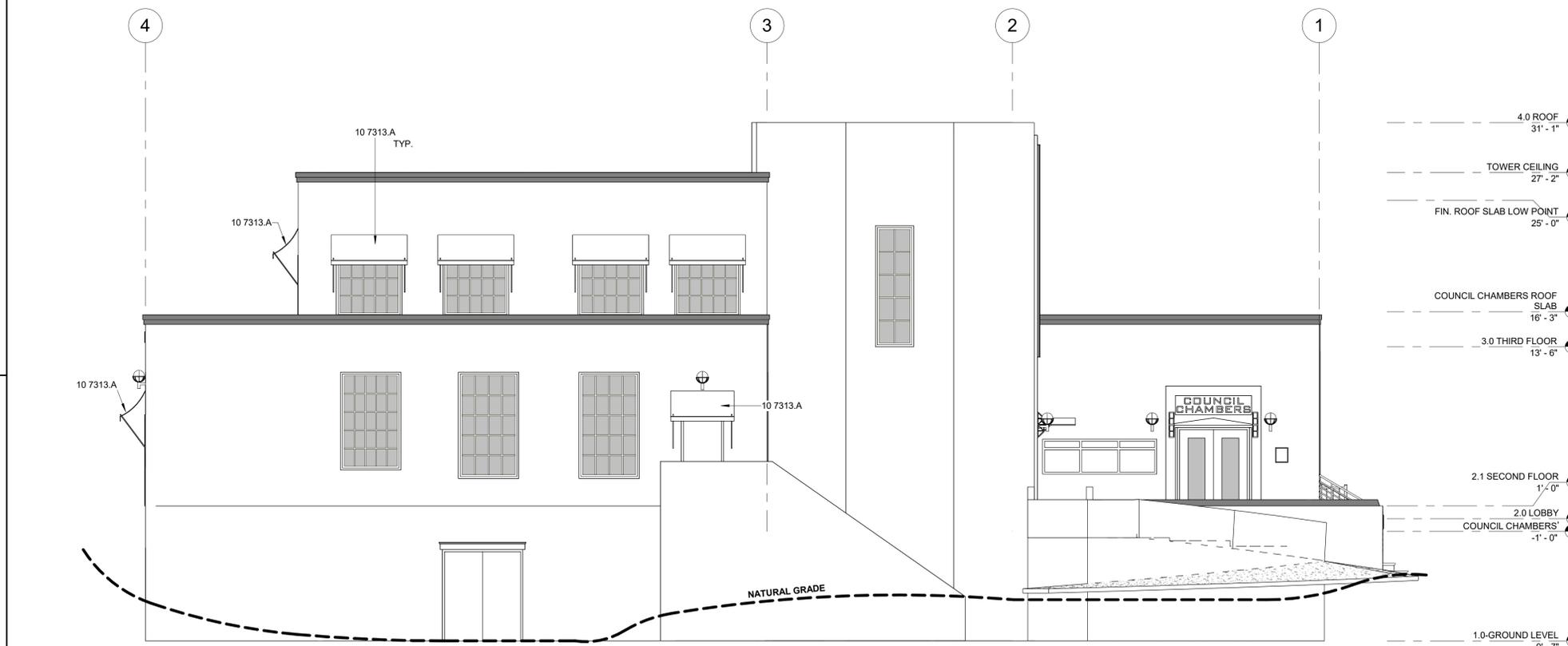
CONSULTANT

AGENCY



1 SOUTH ELEVATION

A-101 | A-202 SCALE: 3/16" = 1'-0"



2 WEST ELEVATION

A-202 SCALE: 3/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

EXTERIOR ELEMENTS TO BE PAINTED

- EXISTING EXTERIOR STUCCO TO BE PAINTED SHERWIN WILLIAMS - DRIFT OF MIST (SW 9166)
- EXTERIOR DETAILING (FLASHING, STUCCO, ETC) TO BE PAINTED AS INDICATED SHERWIN WILLIAMS - CITYSCAPE (SW 7067)
- (E) CONCRETE WALL WITH STUCCO FINISH TO BE REPAIRED AND REFINISHED

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
EXTERIOR ELEVATIONS

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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PROJECT MANAGER
JP
 DRAWN BY
SD, DDA, AK
 CHECKED BY
JP
 DATE
09/27/2024
 PROJECT NUMBER
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 SHEET
A-202

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FLOOR PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
- REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
- REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
- ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVEING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS.
- DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
- WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
- SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
- AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
- ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

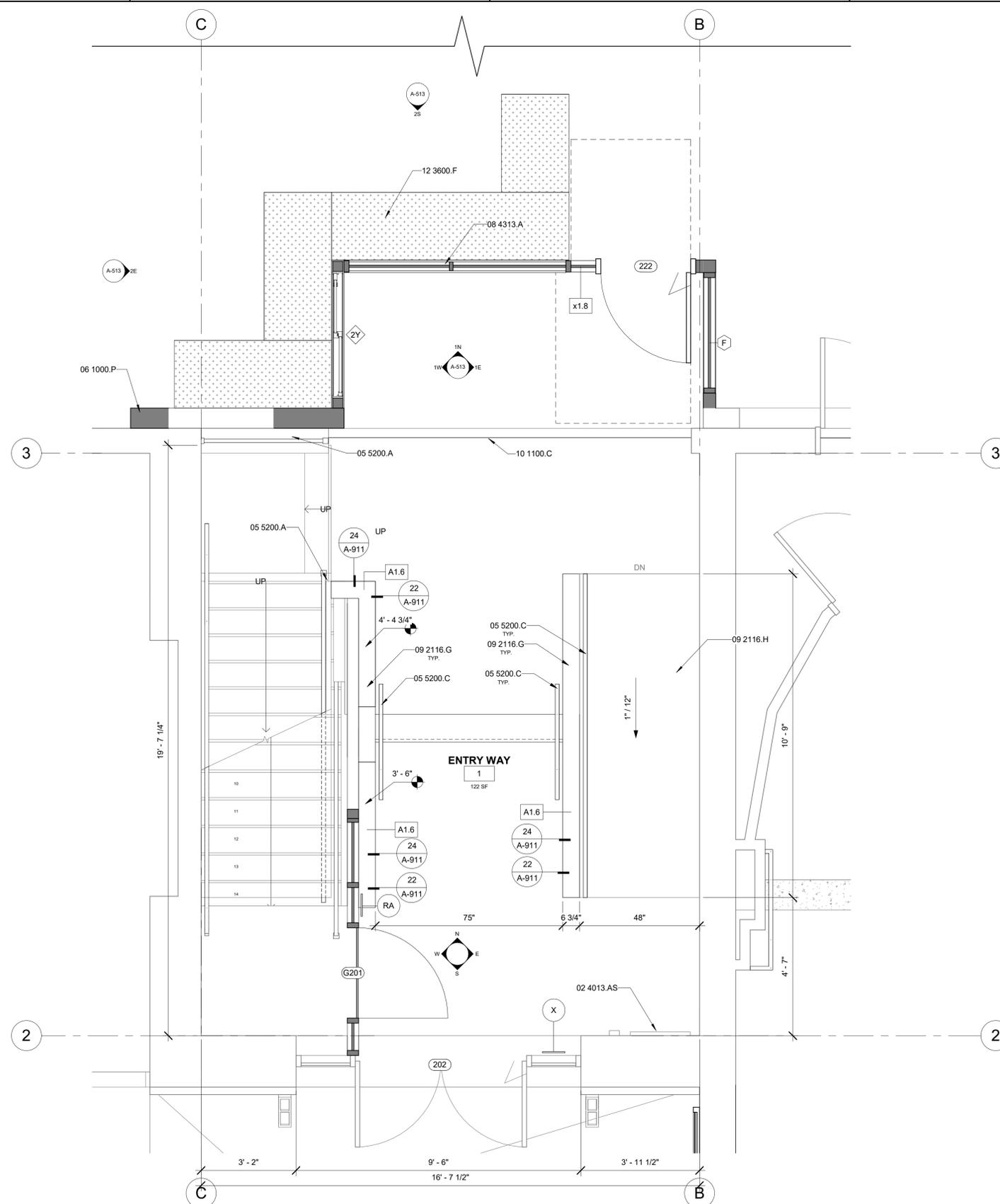
KEYNOTES

- 02 4013.AS EXISTING MAILBOX TO REMAIN. WOOD TO BE RE-STAINED TO MATCH NEW STAIN ON ADJACENT DOOR.
- 05 5200.A NEW DECORATIVE METAL RAILINGS. REFER TO A-601 AND FINISH SCHEDULE FOR MORE INFORMATION.
- 05 5200.C WOOD HANDRAIL. STAIN TO MATCH ADJACENT WOOD TOP FINISH.
- 06 1000.P FURRING FOR WIRE MANAGEMENT
- 08 4313.A ALUMINUM STOREFRONT SYSTEM - REFER TO SCHEDULES.
- 09 2116.G WOOD WALL CAP FINISH. ARCHITECT TO SELECT SATIN AND FINISH SHEEN
- 09 2116.H FILL IN (E) NICHE WITH NEW FRAMING AND GYPSUM BOARD. GYPSUM BOARD TEXTURE AND FINISH TO MATCH (E)
- 10 1100.C WALL MOUNTED ART. OWNER PROVIDED - COORDINATE INSTALL WITH OWNER
- 12 3600.F NEW RECEPTION COUNTER

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES
 TYPE A - INTERIOR NON-RATED
 A1.4 2X4 FRAMED INTERIOR PARTITION
 A1.6 2X6 FRAMED INTERIOR PARTITION

-----	DEMO	A1.6	WALL TAG	[Pattern]	NEW COUNTER
[Line]	(E) WALL	[Symbol]	DOOR TAG	[Pattern]	PHASE 2
[Line]	(N) WALL	[Symbol]	STOREFRONT TAG REFER TO A-601	[Pattern]	(N) 2X4 ACT CEILING
[Pattern]	(E) SOFFIT	[Symbol]	SIGN TAG REFER TO A-601	[Pattern]	(E) 2X4 ACT CEILING
[Pattern]	(N) SOFFIT				



1 ENLARGED LOBBY FLOOR PLAN - DEMO
 A-102 | A-401 SCALE: 1/2" = 1'-0"

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SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
ENLARGED LOBBY FLOOR PLAN

NO.	REVISION	DATE

PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
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 SHEET
A-401



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- SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
- AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
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- CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

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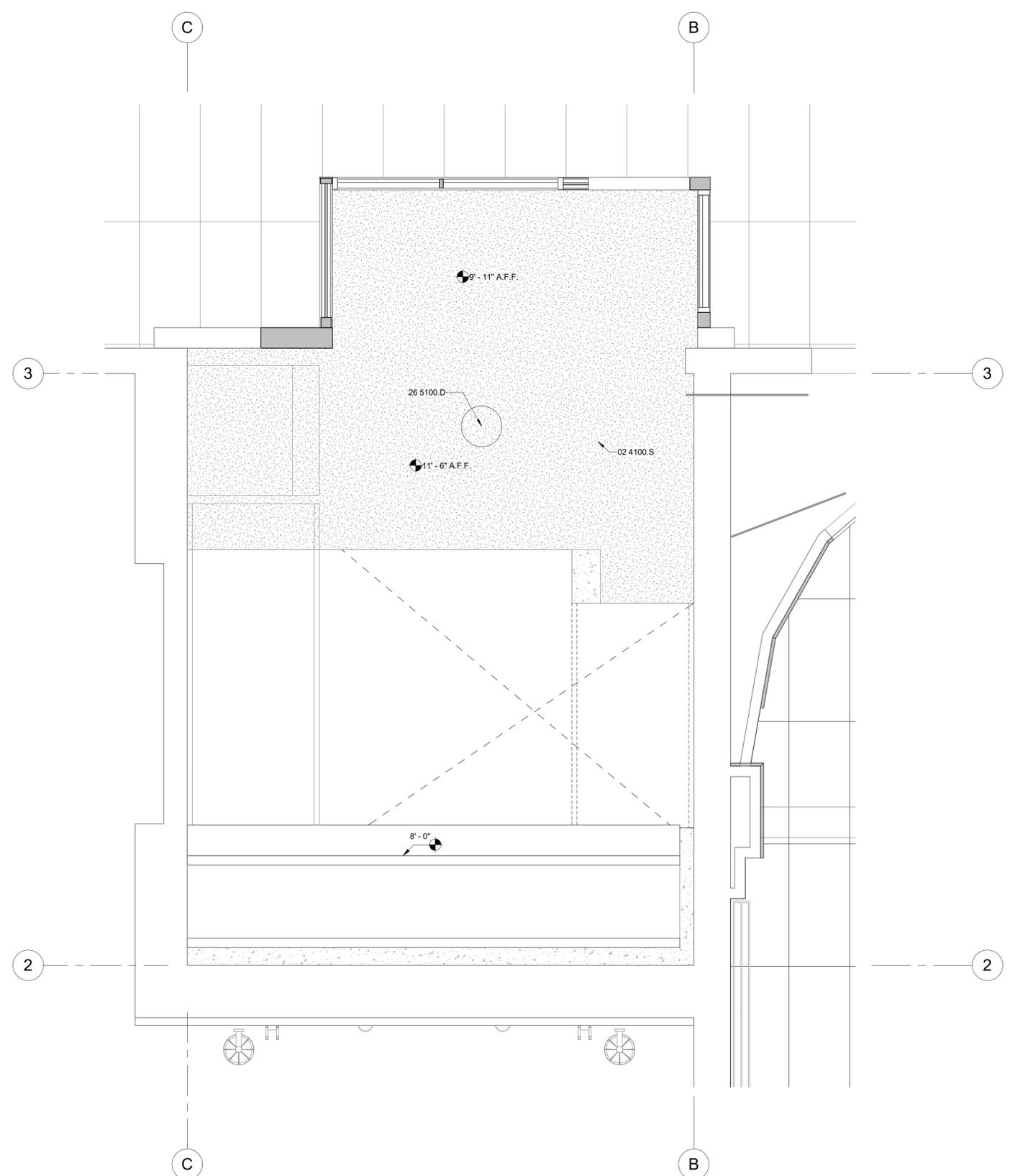
KEYNOTES

- 02 4100.S EXISTING CEILING TO BE REMOVED.
 26 5100.D NEW SEMI FLUSH CEILING LIGHT FIXTURE. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS. OWNER FURNISHED CONTRACTOR INSTALLED

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES
 TYPE A - INTERIOR NON-RATED
 A1.4 2X4 FRAMED INTERIOR PARTITION
 A1.6 2X6 FRAMED INTERIOR PARTITION

-----	DEMO	A1.6 WALL TAG	NEW COUNTER
---	(E) WALL	DOOR TAG	PHASE 2
---	(N) WALL	STOREFRONT TAG REFER TO A-601	(N) 2X4 ACT CEILING
---	(E) SOFFIT	SIGN TAG REFER TO A-601	(E) 2X4 ACT CEILING
---	(N) SOFFIT		



1 ENLARGED LOBBY REFLECTED CEILING PLAN
 A-111 | A-402 | SCALE: 1/2" = 1'-0"

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SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
ENLARGED LOBBY REFLECTED CEILING PLAN

NO.	REVISION	DATE

PROJECT MANAGER
 JP
 DRAWN BY
 SD, DDA, AK
 CHECKED BY
 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET
A-402



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FLOOR PLAN GENERAL NOTES

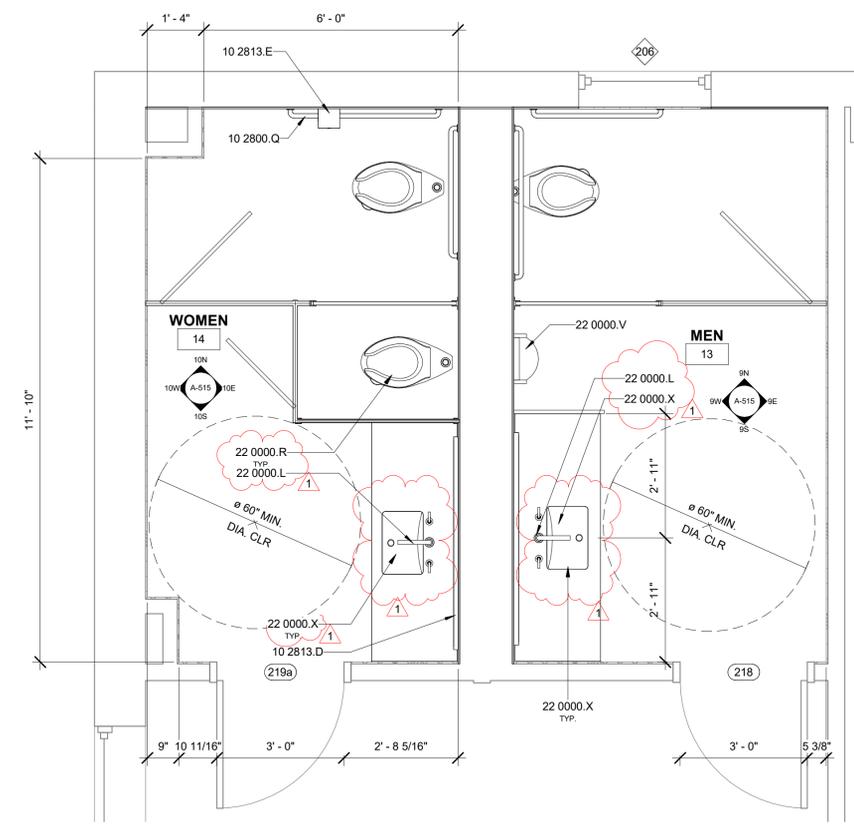
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- WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
- SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
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- ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
- ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND PHASE.
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

KEYNOTES

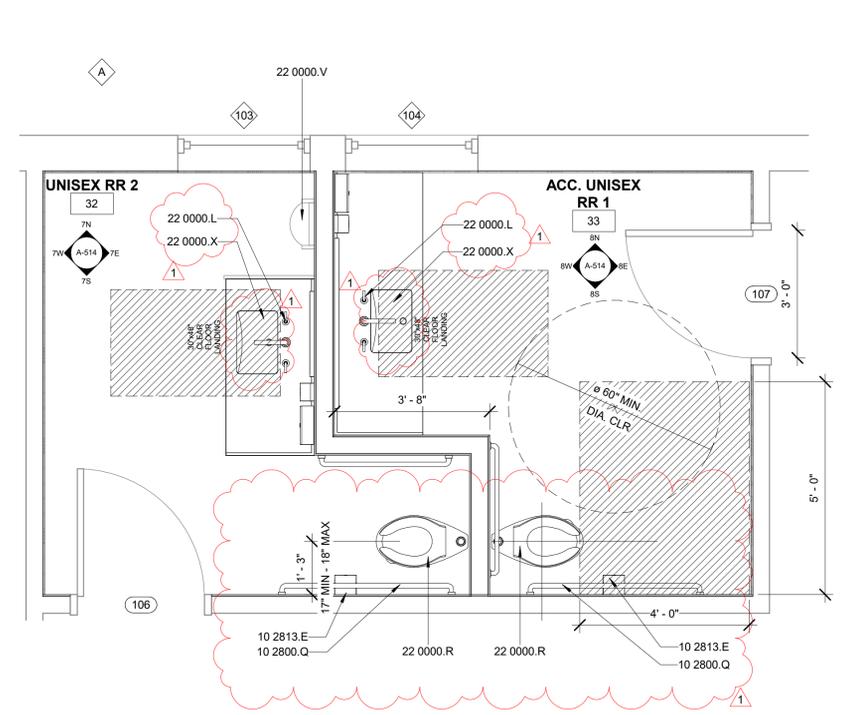
- 10 2800.BA TOILET PARTITION
- 10 2800.Q NEW BOBRICK B-6806 SERIES 36" AND 42" GRAB BAR.
- 10 2813.D BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE.
- 10 2813.E BOBRICK SURFACE-MOUNTED DISPENSER AND UTILITY SHELF B-540.
- 10 2813.G SINK MOUNTED SOAP DISPENSER
- 22 0000.L NEW MOEN DARTMOOR LAVATORY FAUCET. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS
- 22 0000.Q NEW KOHLER SOHO K-2053-N SINK WITH MATCHING VITRIOUS CHINA PIPE COVER AND UNDERMOUNT. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC.
- 22 0000.R NEW TOTO COMMERCIAL RATED FLOOR MOUNTED ULTRA HIGH EFFICIENCY TOILET. INSTALL PER MANUFACTURERS INSTRUCTIONS.
- 22 0000.V NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICIENCY WALL HUNG URINAL. WATERLINE TO BE UPDATED.
- 22 0000.X KOHLER LADENA K-2214 SINK AS SHOWN ON PLANS. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC.
- 23 0000.F EXHAUST FAN. ELECTRICAL TO TIE INTO LIGHTSWITCH

LEGEND

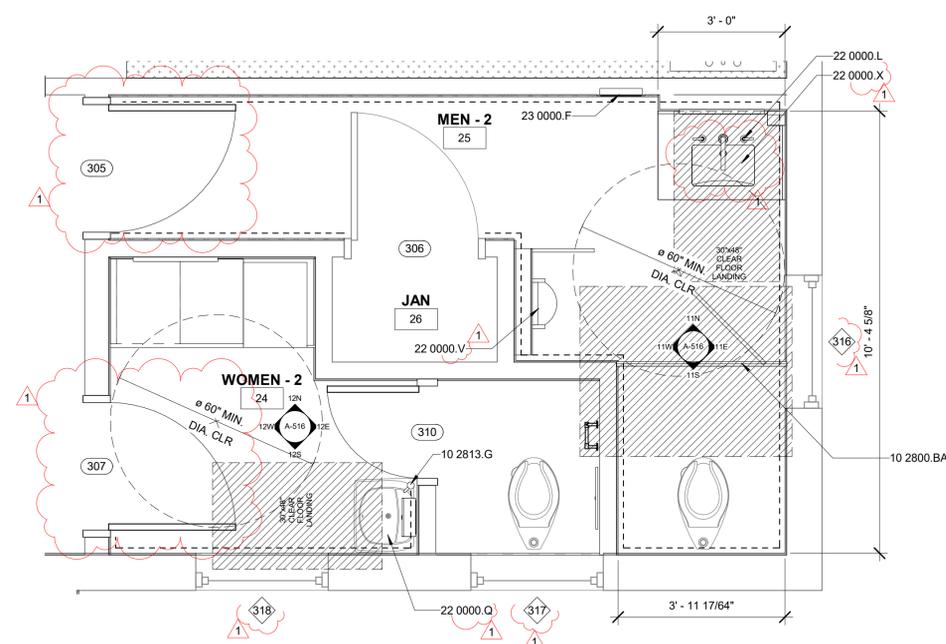
REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES		
TYPE A - INTERIOR NON-RATED		
A1.4	2X4 FRAMED INTERIOR PARTITION	
A1.6	2X6 FRAMED INTERIOR PARTITION	
-----	DEMO	
(E) WALL	WALL TAG	NEW COUNTER
(N) WALL	DOOR TAG	PHASE 2
(E) SOFFIT	STOREFRONT TAG REFER TO A-601	(N) 2X4 ACT CEILING
(N) SOFFIT	SIGN TAG REFER TO A-601	(E) 2X4 ACT CEILING



2 ENLARGED SECOND FLOOR RESTROOMS
A-102 | A-403 SCALE: 1/2" = 1'-0"



1 ENLARGED FIRST FLOOR RESTROOMS
A-101 | A-403 SCALE: 1/2" = 1'-0"



3 ENLARGED THIRD FLOOR RESTROOMS
A-103 | A-403 SCALE: 1/2" = 1'-0"

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
ENLARGED RESTROOMS

NO.	REVISION	DATE
△	BID ADDENDUM 1	10/11/24
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△		
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JP
DATE
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PROJECT NUMBER
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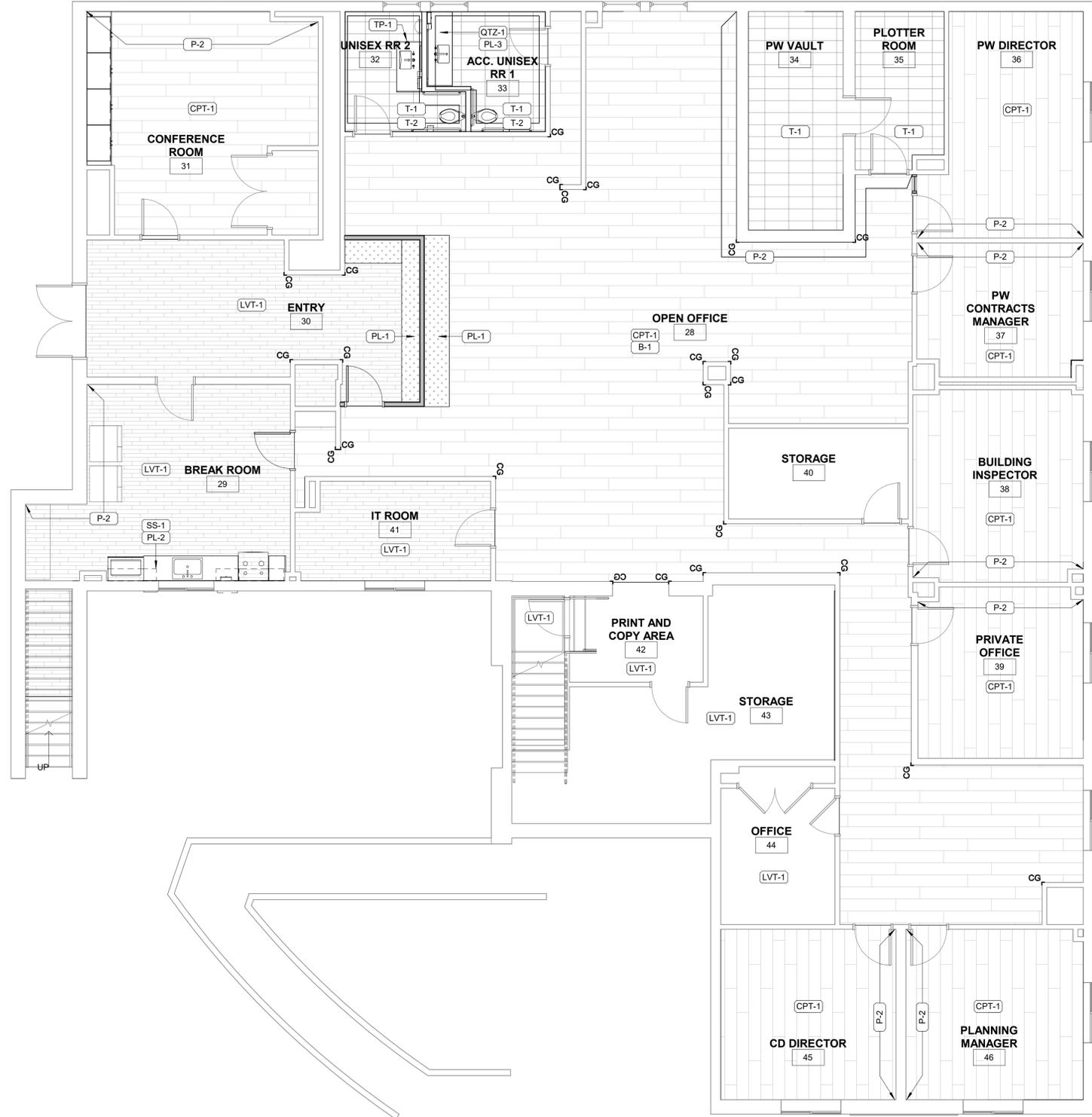
A-403

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS.
2. INTERIOR DIMENSIONS ARE TO FACE OF FINISH, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
3. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
4. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
5. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
6. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
7. ALL INTERIOR WALLS TO BE PATCHED AS REQUIRED FROM DEMO WORK AND REMOVAL OF ALL EXISTING WALL COVERINGS. ALL WALLS TO BE RE-TEXTURED TO PROVIDE A CONSISTENT LEVEL 4 DRYWALL FINISH. ALL WALLS TO BE PAINTED P-1 U.O.N.



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**SIGNAL HILL CITY HALL - LOBBY
MODERNIZATION**
2175 Cherry Ave, Signal Hill, CA 90755
FINISH PLANS - LEVEL 1

FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

- NEW LVT (BY OTHERS)
- NEW CARPET TILE (BY OTHERS)
- NEW FLOOR TILE
- STAINLESS STEEL CORNER GUARD

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JP
DATE
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SHEET
A-501

1 FIRST FLOOR - FINISH PLAN

A-201 | A-501 | SCALE: 3/16" = 1'-0"

10/17/2024 2:14:23 PM Autodesk Docs:3090-01 Signal Hill City Hall/3090-01 Signal Hill.rvt

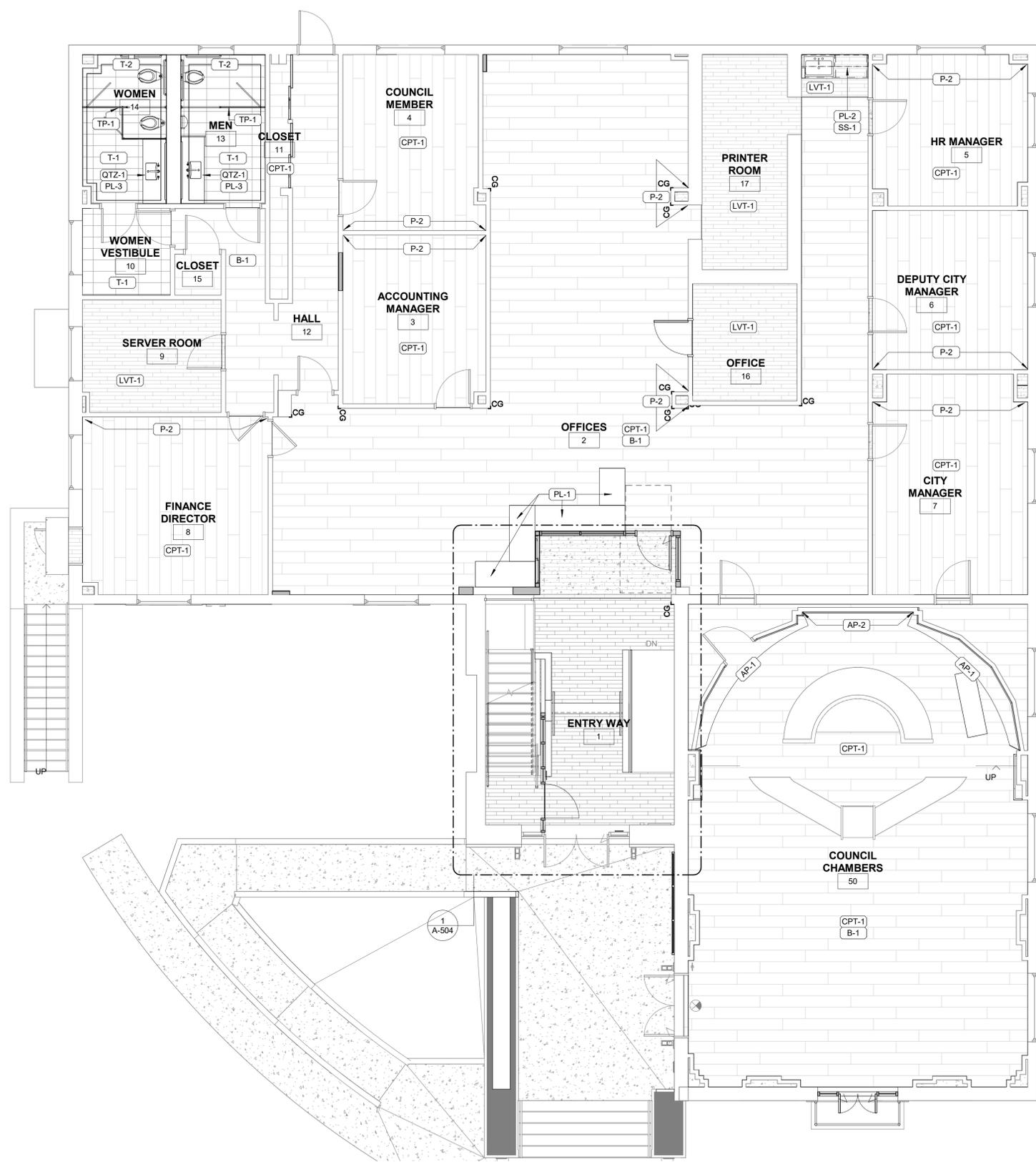
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SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
FINISH PLAN - LEVEL 2

FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

- NEW LVT (BY OTHERS)
- NEW CARPET TILE (BY OTHERS)
- NEW FLOOR TILE
- STAINLESS STEEL CORNER GUARD

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JP
 DATE
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 PROJECT NUMBER
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 SHEET

1 SECOND FLOOR - FINISH PLAN
 A-201 | A-502 SCALE: 3/16" = 1'-0"

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A-502



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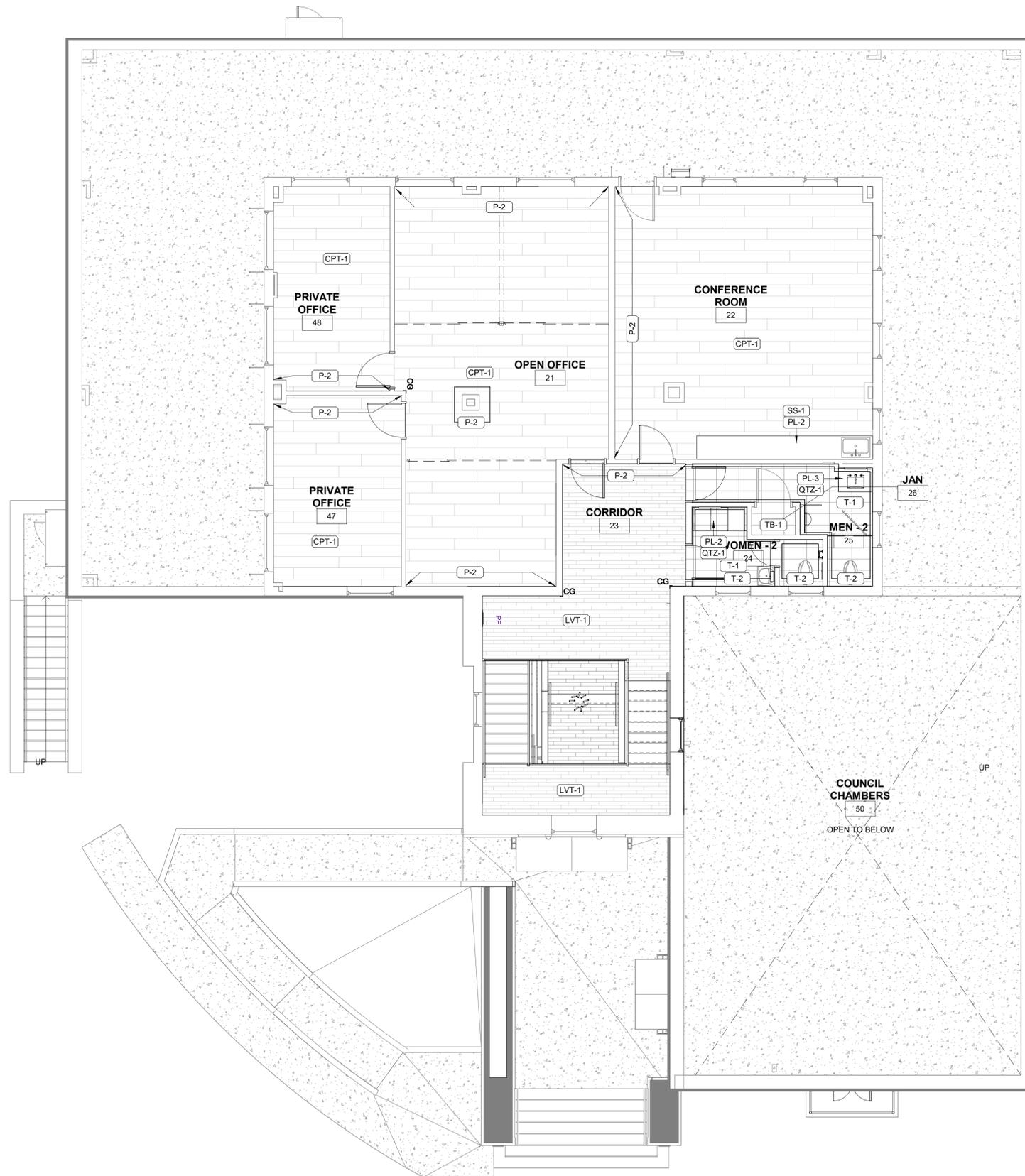
AGENCY

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2175 Cherry Ave, Signal Hill, CA 90755
FINISH PLAN - LEVEL 3

NO.	REVISION	DATE

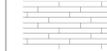
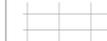
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JP
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JP
DATE
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PROJECT NUMBER
3090-01-CU23
SHEET

A-503



FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

-  NEW LVT (BY OTHERS)
-  NEW CARPET TILE (BY OTHERS)
-  NEW FLOOR TILE
-  STAINLESS STEEL CORNER GUARD

1 THIRD FLOOR - FINISH PLAN

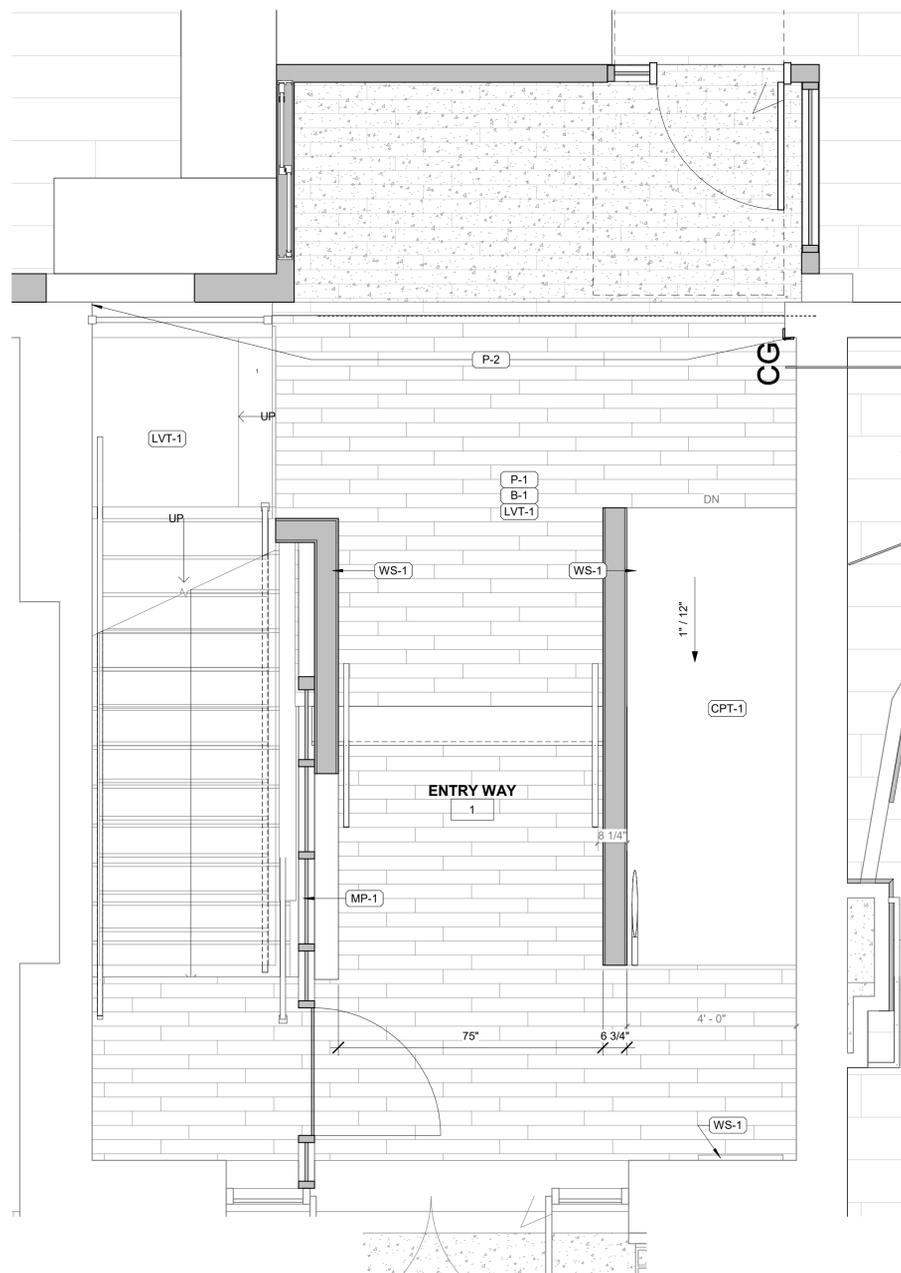
A-201 | A-503 SCALE: 3/16" = 1'-0"



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AGENCY



SIGNAGE LEGEND

- (A) DOOR-MOUNTED SIGN WITH PICTOGRAM
- (B) RESTROOM WALL SIGN WITH ISA PICTOGRAM
- (X) ILLUMINATED EXIT SIGN

FINISH REQUIREMENTS

PER 2022 CBC 803.13 INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO 2022 CBC SEC. 803 FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (CBC 2022 TABLE 803.13)

DEGREE OF FIRE PROTECTION: SPRINKLERED

GROUP	INTERIOR EXIT STARWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STARWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	B	B	C
A-3, A-4, A-5	B	B	C
B, E, M, R-1	B	C	C
R-2	C	C	C
R-2.1	B	C	C
R-2.2	C	C	C
R-3, R-3.1	C	C	C
S	C	C	C

CLASSIFICATIONS

- CLASS A:
 - FLAME SPREAD INDEX = 0-25
 - SMOKE DEVELOPED INDEX = 0-450
- CLASS B:
 - FLAME SPREAD INDEX = 26-75
 - SMOKE DEVELOPED INDEX = 0-450
- CLASS C:
 - FLAME SPREAD INDEX = 76-200
 - SMOKE DEVELOPED INDEX = 0-450

FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

- NEW LVT (BY OTHERS)
- NEW CARPET TILE (BY OTHERS)
- NEW FLOOR TILE
- STAINLESS STEEL CORNER GUARD

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
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ENLARGED LOBBY FINISH PLAN

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JP
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1 GROUND FLOOR PLAN

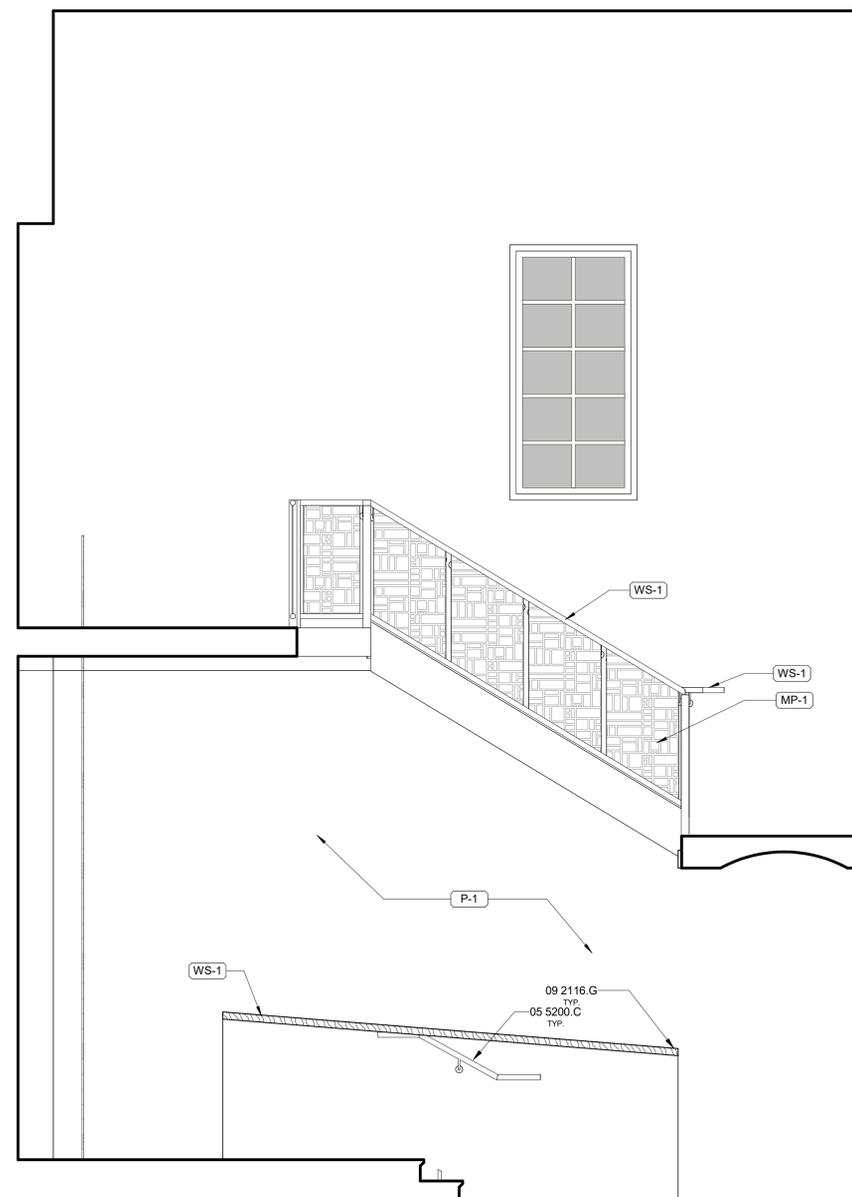
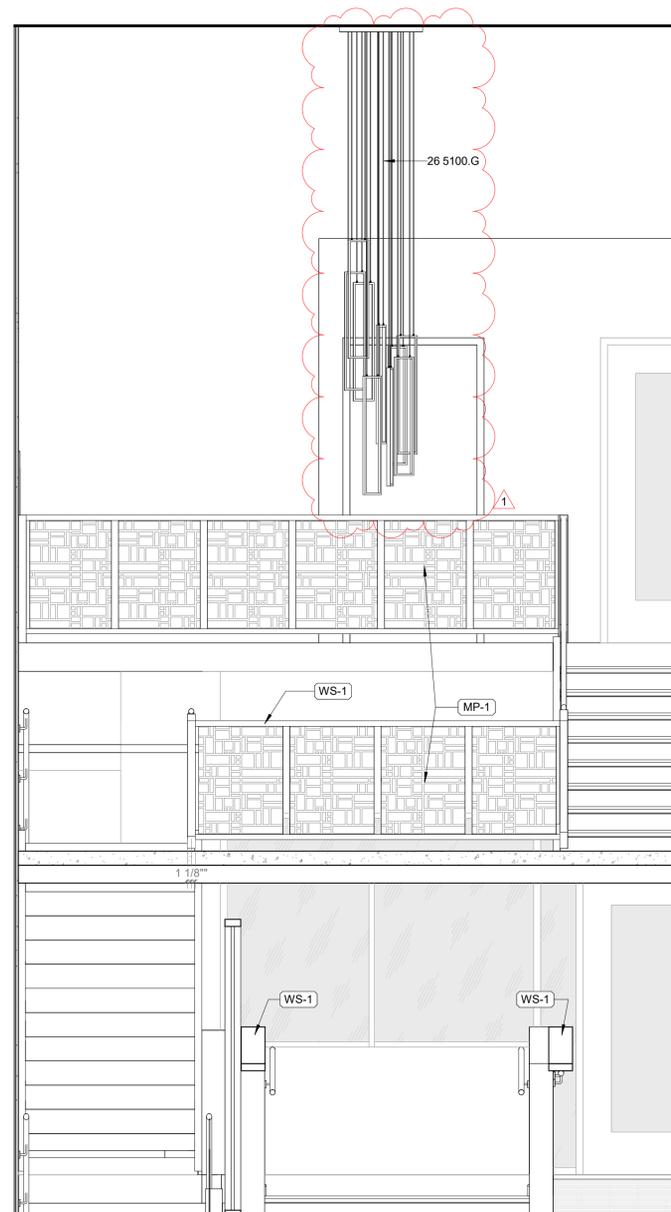
A-201 | A-504 SCALE: 1/2" = 1'-0"



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INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 **CBC TABLE 803.13** FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.
8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND COLOR SELECTIONS.



KEYNOTES

- 05 5200.C WOOD HANDRAIL. STAIN TO MATCH ADJACENT WOOD TOP FINISH.
- 09 2116.G WOOD WALL CAP FINISH. ARCHITECT TO SELECT SATIN AND FINISH SHEEN
- 26 5100.G NEW PENDANT LIGHT FIXTURE - SAVEA 9 LIGHT UNIQUE CHANDELIER LARGE LONG CLUSTER PENDANT. OWNER PROVIDED, CONTRACTOR INSTALLED.

10/11/2024 2:14:28 PM Autodesk Docs://3090-03 Signal Hill City Hall/3090-01 Signal Hill.rvt

N

E

1/2" = 1'-0"

MAIN LOBBY

BID SET

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MODERNIZATION**
2175 Cherry Ave, Signal Hill, CA 90755

INTERIOR ELEVATIONS

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A-511



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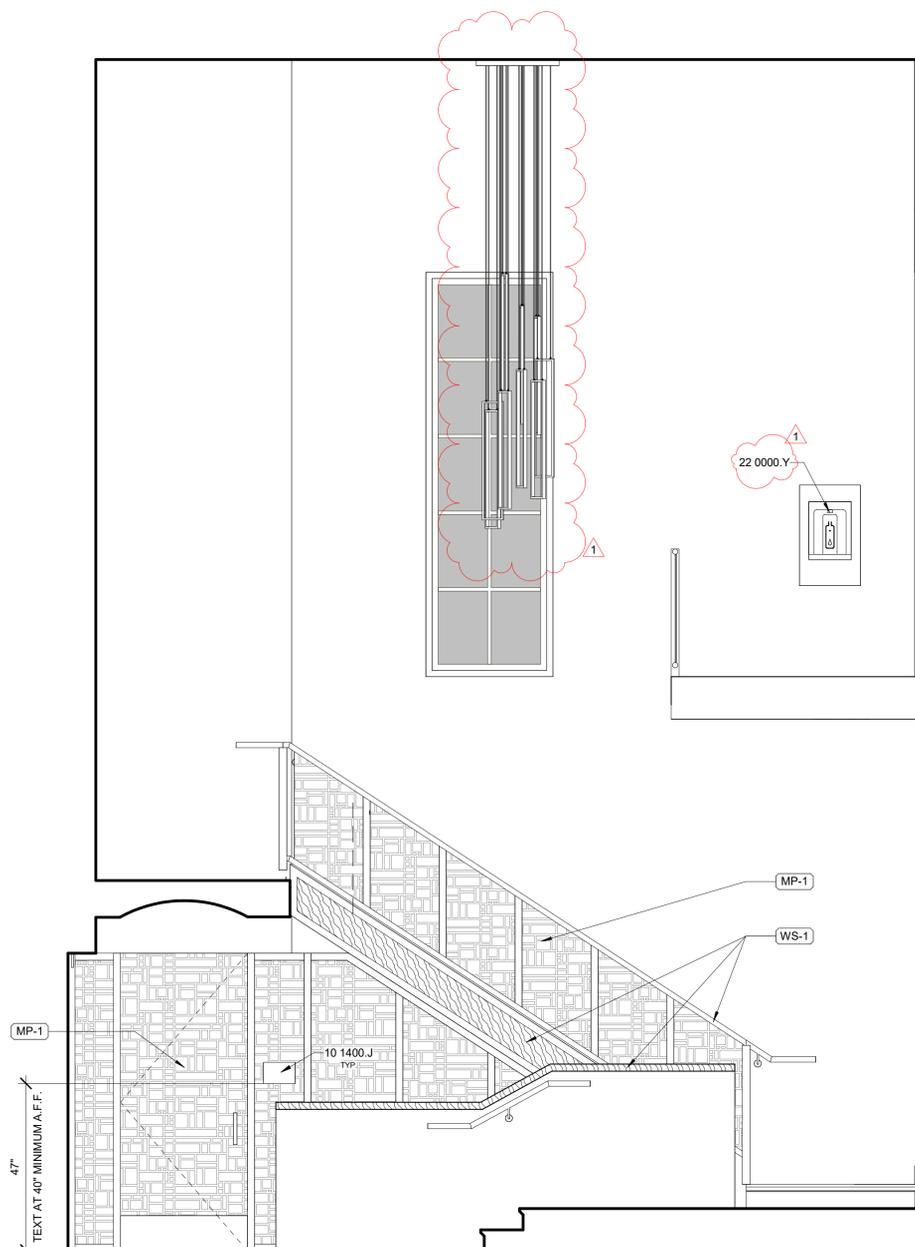
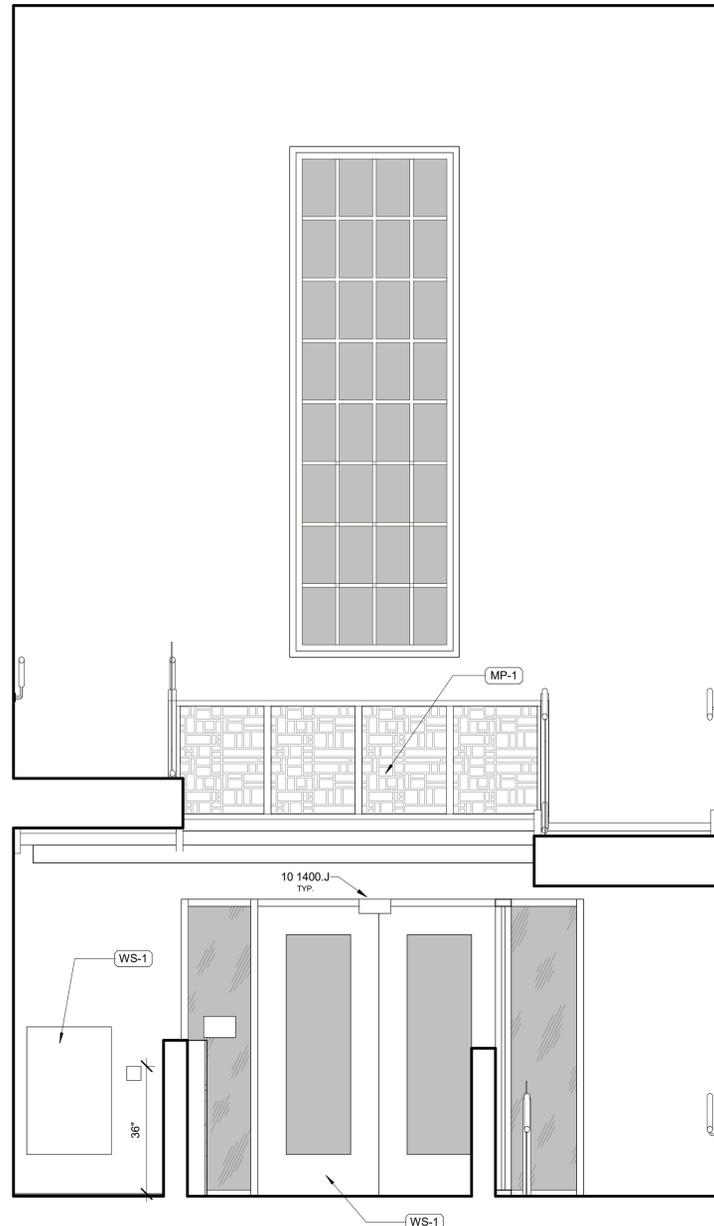
AGENCY

INT. ELEVS. GENERAL NOTES

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7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.
8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND COLOR SELECTIONS.

KEYNOTES

- 10 1400.J INDIVIDUAL METAL LETTERS. MOUNTING TYPE 2. REFER TO DETAIL 14/AS-920
- 22 0000.Y NEW HAWS RIVIVE HYDRATION STATION RECESSED BOTTLE WATER FILLER MODEL 2000HS.



S

W

1/2" = 1'-0" ENTRY WAY - SECOND FLOOR

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AGENCY

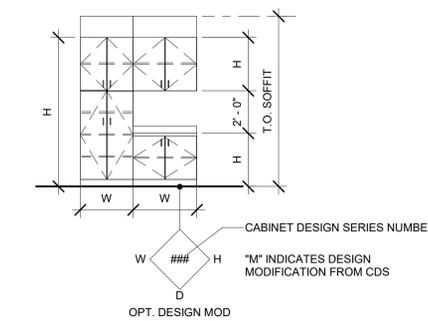
INT. ELEVS. GENERAL NOTES

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KEYNOTES

- 10 1400.L NEW SIGNAGE CITY LOGO ON NEW GLAZING. LOGO PATTERN TO BE MADE FROM FROSTED WINDOW FILM.

CASEWORK LEGEND



CABINET DESIGNATIONS BASED ON NORTH AMERICA ARCHITECTURAL WOODWORK STANDARDS (NAAWS) 4.0, UPDATED BY ERRATA THROUGH 12/1/21; APPENDIX: CABINET DESIGN SERIES (CDS)

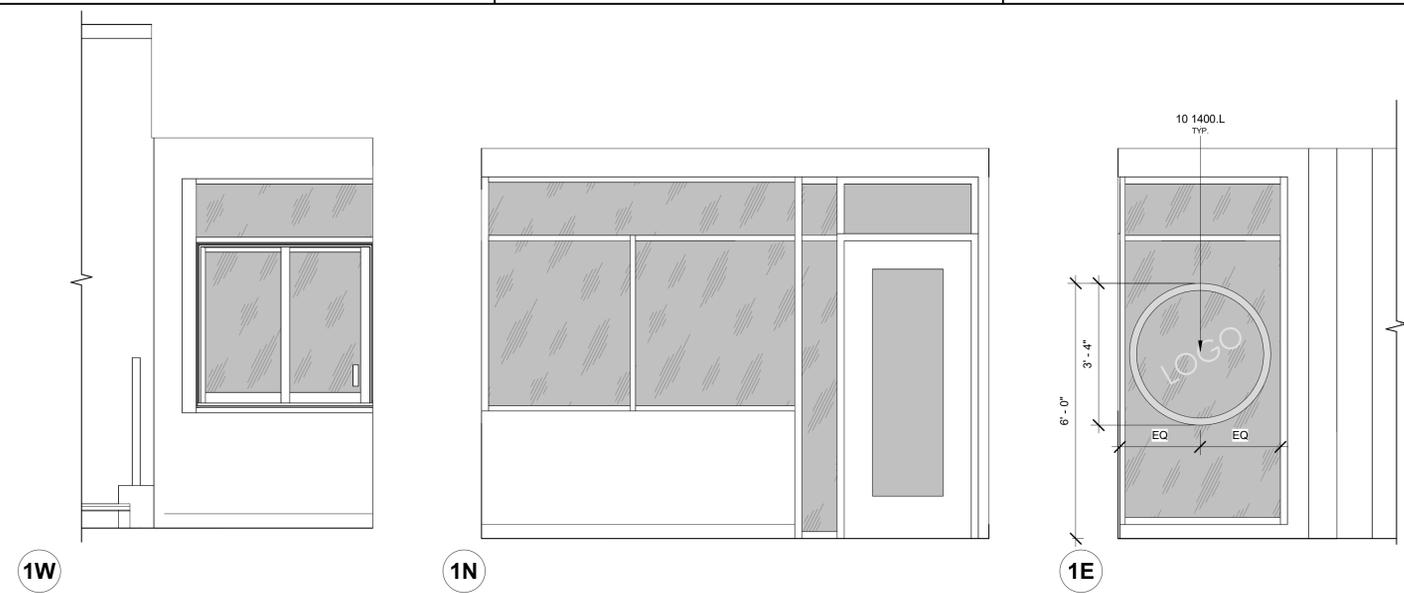
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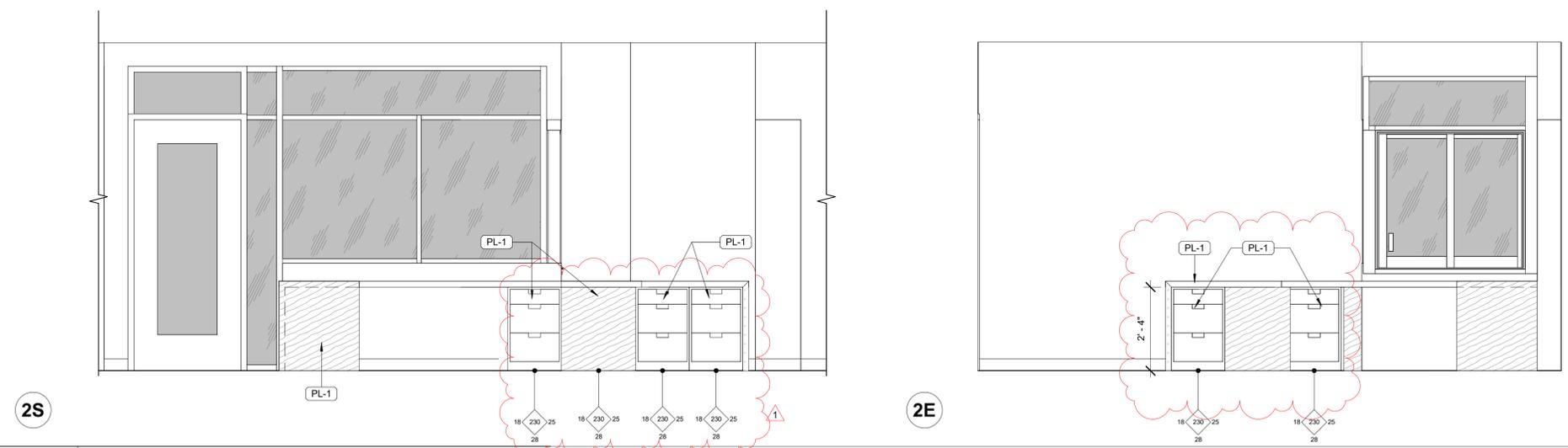
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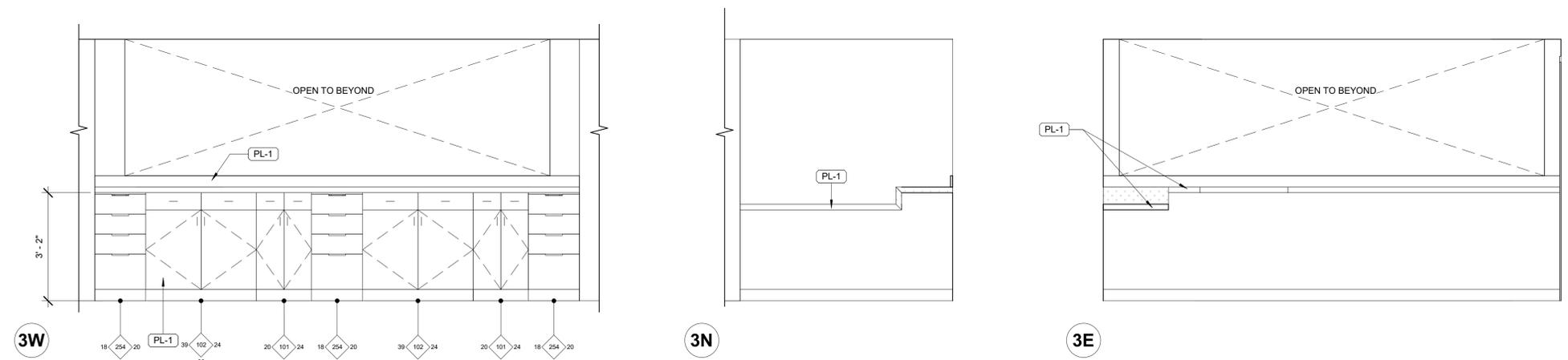
A-513



1/2" = 1'-0" LOBBY - FIRST FLOOR



1/2" = 1'-0" LOBBY DESK



1/2" = 1'-0" RECEPTION

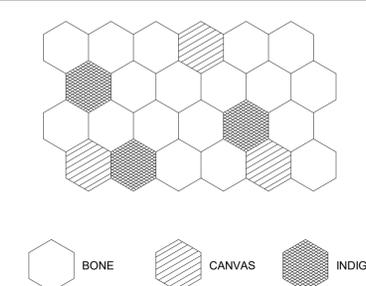
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AGENCY

INT. ELEVS. GENERAL NOTES

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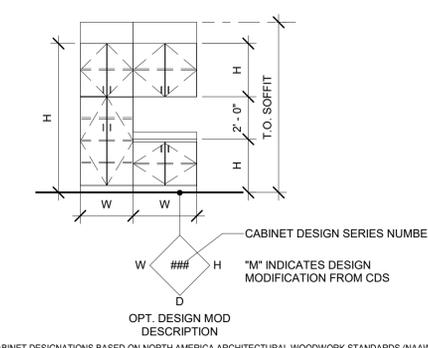
RESTROOM TILE PATTERN TYP.



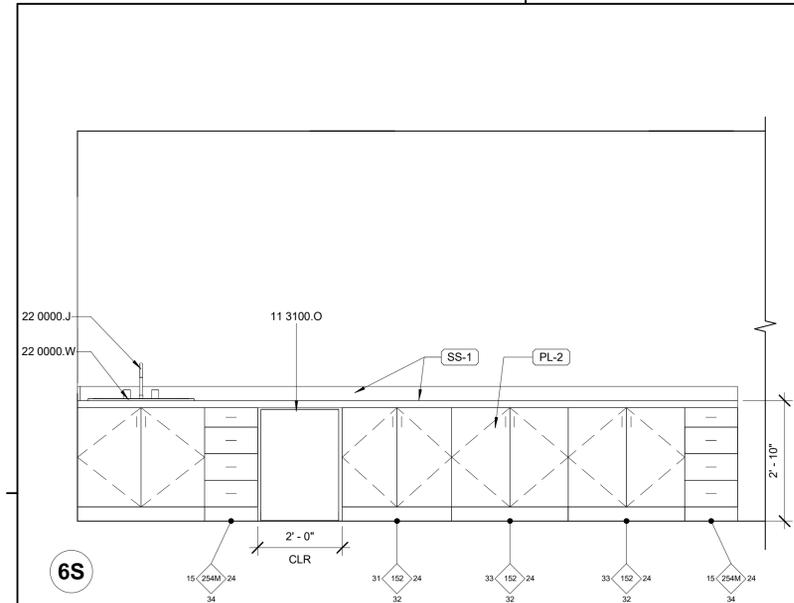
KEYNOTES

- 09 3000.G SCHULTER JOLLY TRIM AT EXPOSED TILE EDGES
- 10 2800.H BOBRICK B-2621 SURFACE MOUNTED PAPER TOWEL DISPENSER
- 10 2800.Q NEW BOBRICK B-6806 SERIES 36" AND 42" GRAB BAR
- 10 2813.C NEW BOBRICK AUTOMATIC WALL-MOUNTED SOAP DISPENSER B-2012
- 10 2813.D BACK LIT MIRROR, BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE.
- 10 2813.E BOBRICK SURFACE-MOUNTED DISPENSER AND UTILITY SHELF B-540.
- 11 3100.A NEW WHIRLPOOL 34" TALL RANGE WEE515SALS, CONTRACTOR FURNISHED AND INSTALLED. COORDINATE INSTALLATION WITH OWNER. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC.
- 11 3100.E SAMSUNG NK30B3500US 30" UNDER CABINET RANGE HOOD MINI REFRIGERATOR
- 11 3100.O NEW MOEN SMYTH S770 SINGLE-HANDLE HIGH ARC PULLDOWN BAR KITCHEN FAUCET. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS.
- 22 0000.V NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICIENCY WALL HUNG URINAL. WATERLINE TO BE UPDATED.
- 22 0000.W NEW BLANCO PRECIS UNDERMOUNT ADA SINK. CONTRACTOR FURNISHED. CONTRACTOR INSTALLED. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS.
- 26 5100.H WALL MOUNTED LAVATORY VANITY SCOURCE. SONNEMAN THIN-LINE 2-SIDED LED WALL BAR. ARCHITECT TO SELECT FROM STANDARD RANGE OF FINISH OPTIONS.

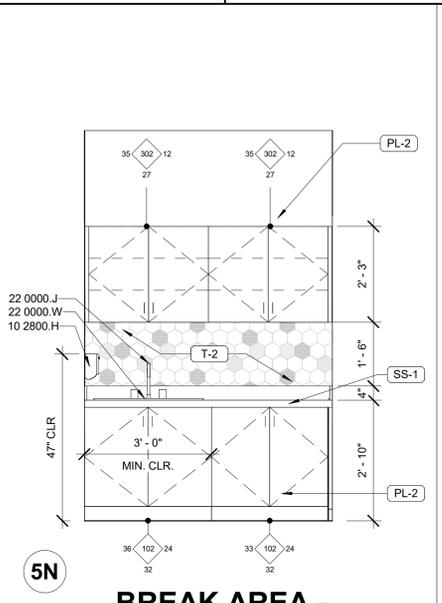
CASEWORK LEGEND



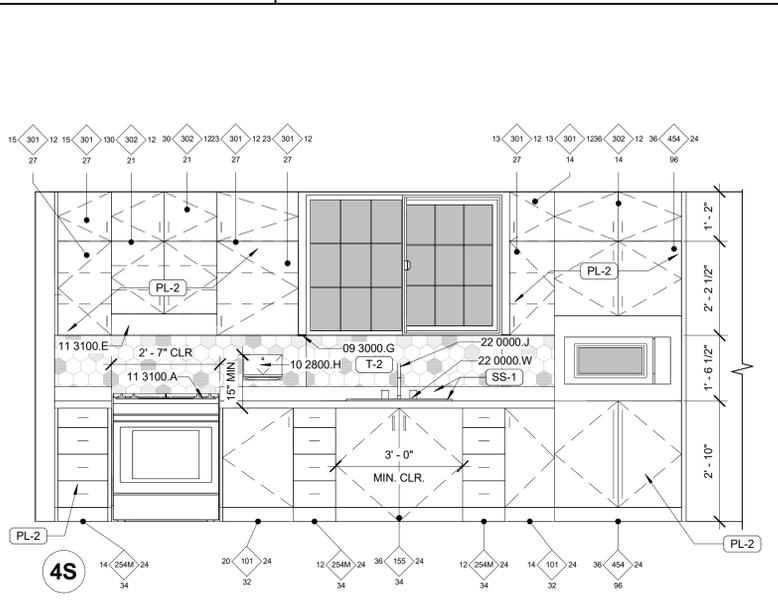
CABINET DESIGNATIONS BASED ON NORTH AMERICA ARCHITECTURAL WOODWORK STANDARDS (NAAWS) 4.0, UPDATED BY ERRATA THROUGH 12/1/21; APPENDIX: CABINET DESIGN SERIES (CDS)



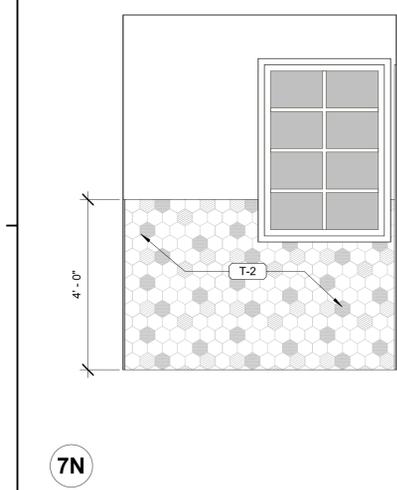
1/2" = 1'-0" **BREAK ROOM - THIRD FLOOR**



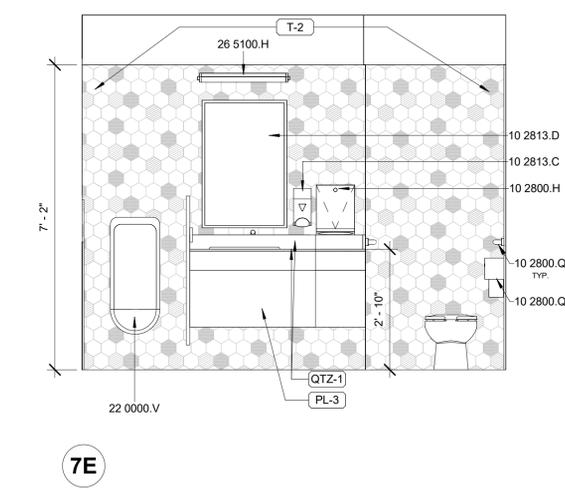
1/2" = 1'-0" **BREAK AREA - SECOND FLOOR**



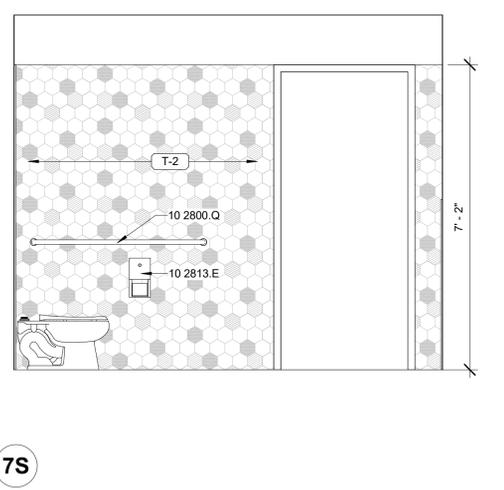
1/2" = 1'-0" **BREAK ROOM - FIRST FLOOR**



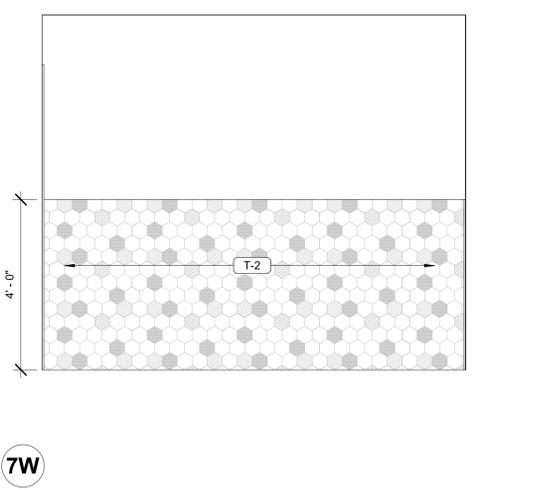
1/2" = 1'-0" **7N**



1/2" = 1'-0" **7E**

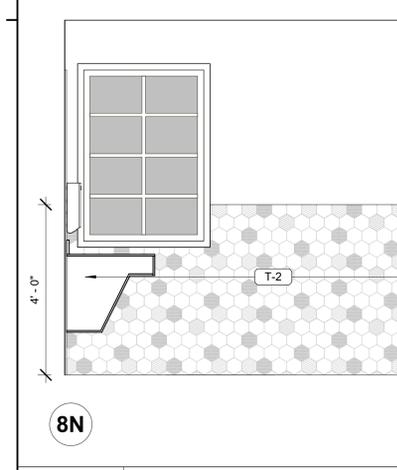


1/2" = 1'-0" **7S**

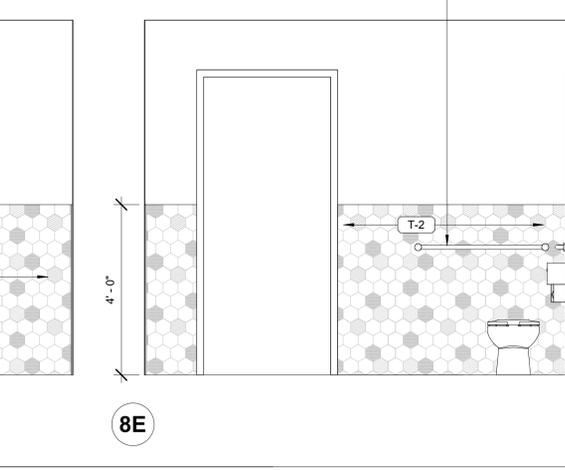


1/2" = 1'-0" **7W**

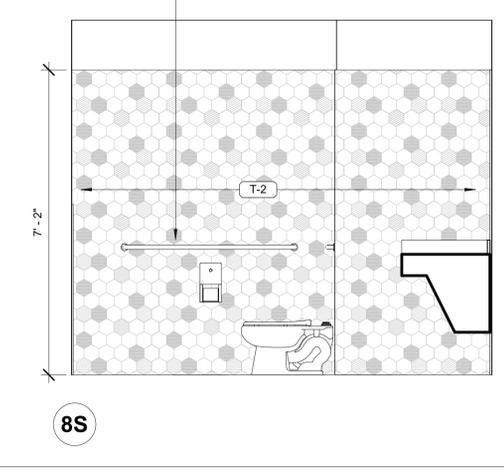
1/2" = 1'-0" MEN'S RESTROOM - FIRST FLOOR



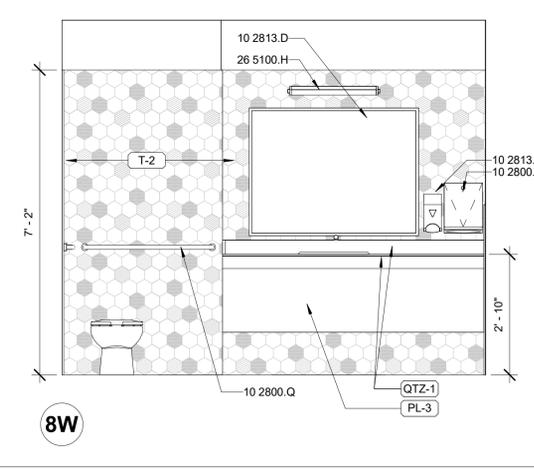
1/2" = 1'-0" **8N**



1/2" = 1'-0" **8E**



1/2" = 1'-0" **8S**



1/2" = 1'-0" **8W**

1/2" = 1'-0" WOMEN'S RESTROOM - FIRST FLOOR

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
INTERIOR ELEVATIONS

NO.	REVISION	DATE

PROJECT MANAGER
JP
 DRAWN BY
SD, DDA, AK
 CHECKED BY
JP
 DATE
09/27/2024
 PROJECT NUMBER
3090-01-CU23
 SHEET
A-514

BID SET

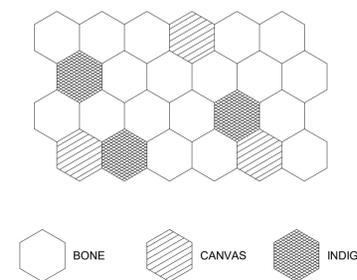
CONSULTANT

AGENCY

INT. ELEVS. GENERAL NOTES

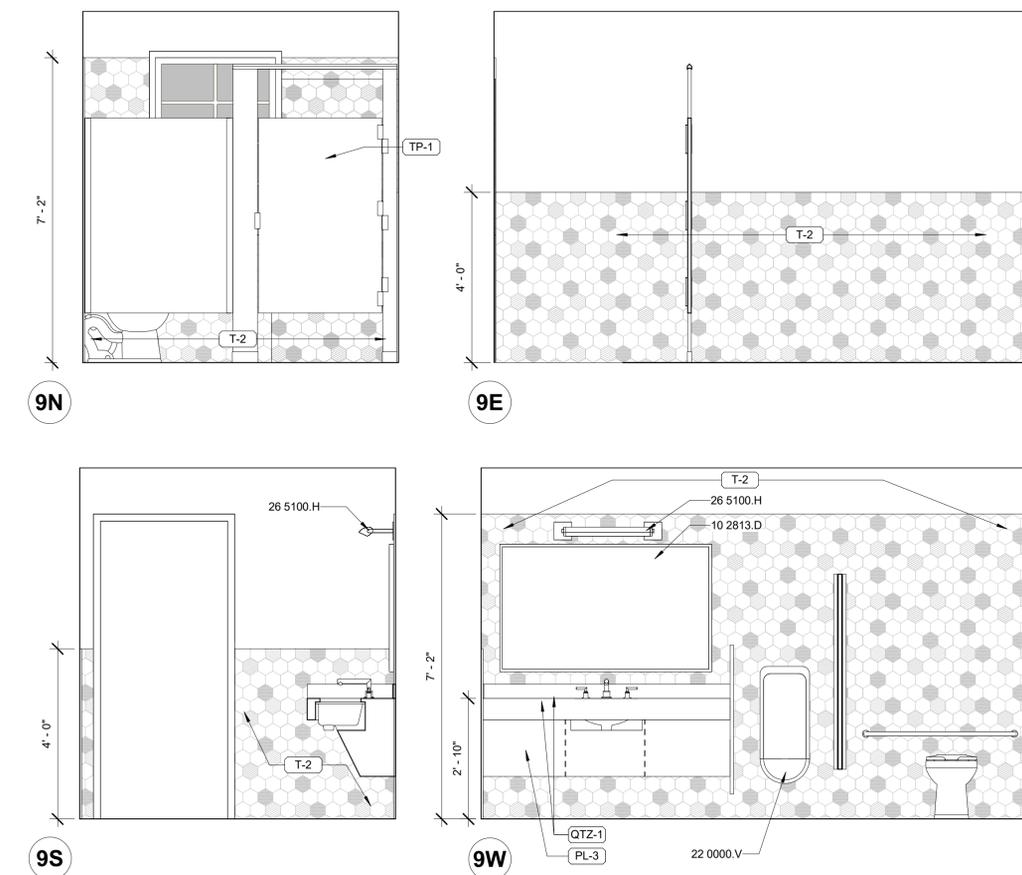
1. REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.
8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND COLOR SELECTIONS.

RESTROOM TILE PATTERN TYP.

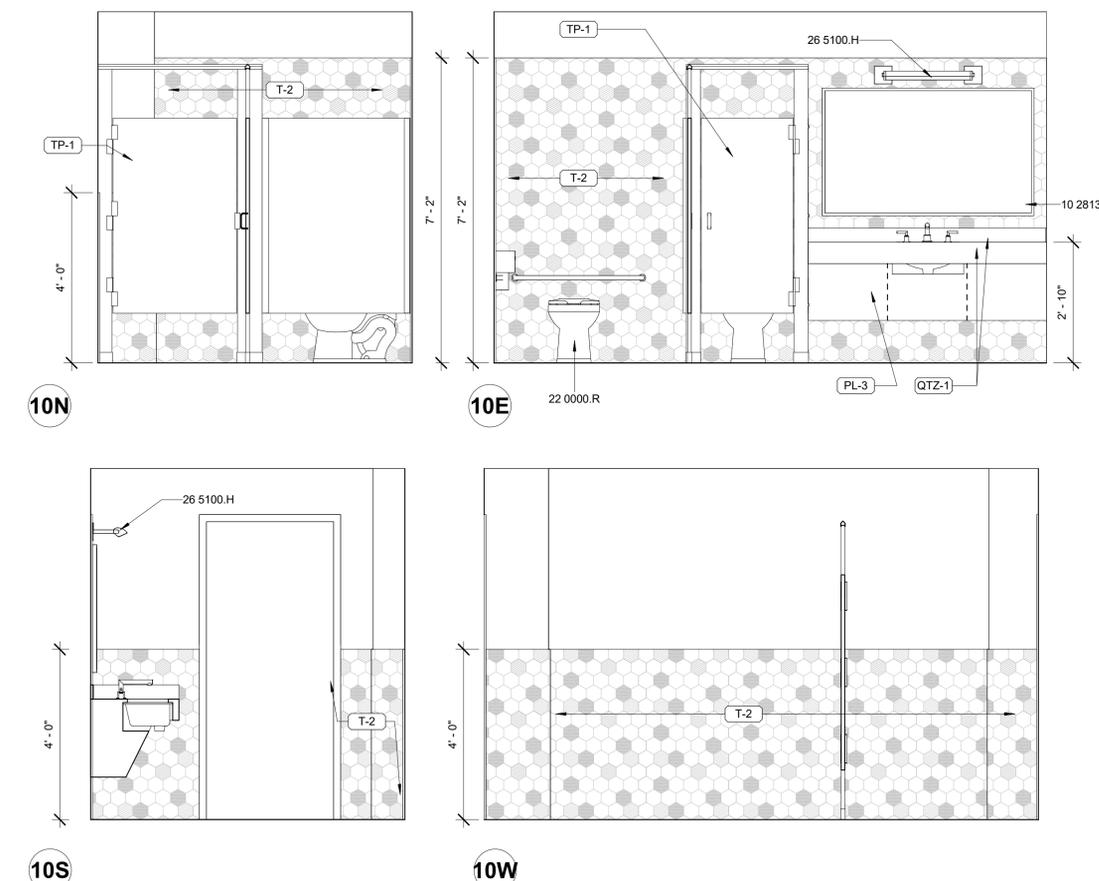


KEYNOTES

- 10 2813.D BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE.
- 22 0000.R NEW TOTO COMMERCIALY RATED FLOOR MOUNTED ULTRA HIGH EFFICIENCY TOILET. INSTALL PER MANUFACTURERS INSTRUCTIONS.
- 22 0000.V NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICINECY WALL HUNG URINAL. WATERLINE TO BE UPDATED.
- 26 5100.H WALL MOUNTED LAVATORY VANITY SCONCE. SONNEMAN THIN-LINE 2-SIDED LED WALL BAR. ARCHITECT TO SELECT FROM STANDARD RANGE OF FINISH OPTIONS.



1/2" = 1'-0" MEN'S RESTROOM - SECOND FLOOR



1/2" = 1'-0" WOMEN'S RESTROOM - SECOND FLOOR

**SIGNAL HILL CITY HALL - LOBBY
MODERNIZATION**
2175 Cherry Ave, Signal Hill, CA 90755
INTERIOR ELEVATIONS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER
JP
DRAWN BY
SD, DDA, AK
CHECKED BY
JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET

A-515

BID SET

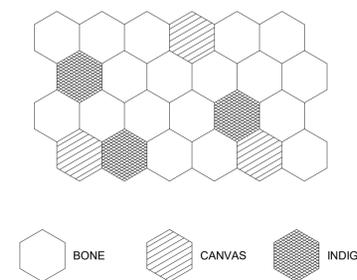
CONSULTANT

AGENCY

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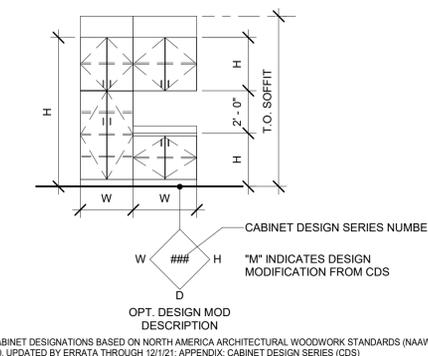
RESTROOM TILE PATTERN TYP.



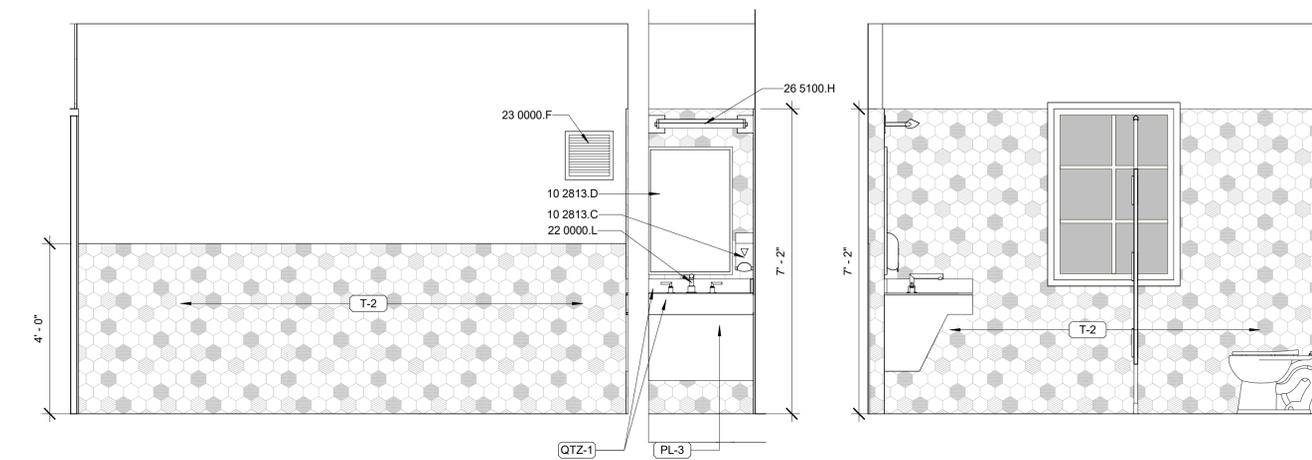
KEYNOTES

- 10 2800.H BOBRICK B-2621 SURFACE MOUNTED PAPER TOWEL DISPENSER
- 10 2813.C NEW BOBRICK AUTOMATIC WALL-MOUNTED SOAP DISPENSER B-2012.
- 10 2813.D BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE.
- 22 0000.L NEW MOEN DARTMOOR LAVATORY FAUCET. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS
- 22 0000.Q NEW KOHLER SOHO K-2053-N SINK WITH MATCHING VITRIOUS CHINA PIPE COVER AND UNDERMOUNT. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC.
- 22 0000.R NEW TOTO COMMERCIAL RATED FLOOR MOUNTED ULTRA HIGH EFFICIENCY TOILET. INSTALL PER MANUFACTURERS INSTRUCTIONS.
- 22 0000.V NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICIENCY WALL HUNG URINAL. WATERLINE TO BE UPDATED.
- 23 0000.F EXHAUST FAN. ELECTRICAL TO TIE INTO LIGHTSWITCH
- 26 5100.H WALL MOUNTED LAVATORY VANITY SCONCE. SONNEMAN THIN-LINE 2-SIDED LED WALL BAR. ARCHITECT TO SELECT FROM STANDARD RANGE OF FINISH OPTIONS.

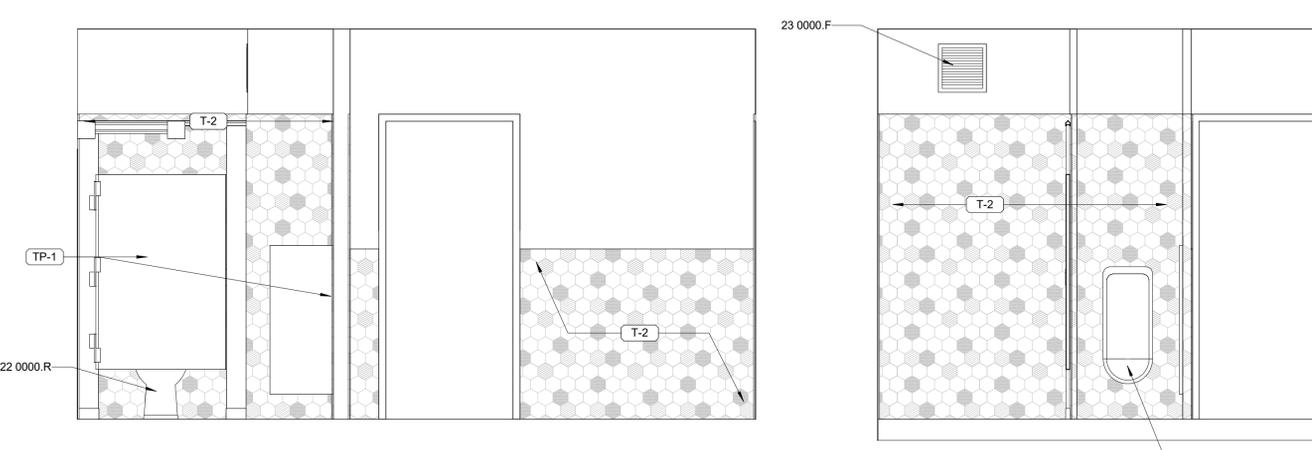
CASEWORK LEGEND



CABINET DESIGNATIONS BASED ON NORTH AMERICA ARCHITECTURAL WOODWORK STANDARDS (NAAWS) 4.0, UPDATED BY ERRATA THROUGH 12/1/21; APPENDIX: CABINET DESIGN SERIES (CDS)

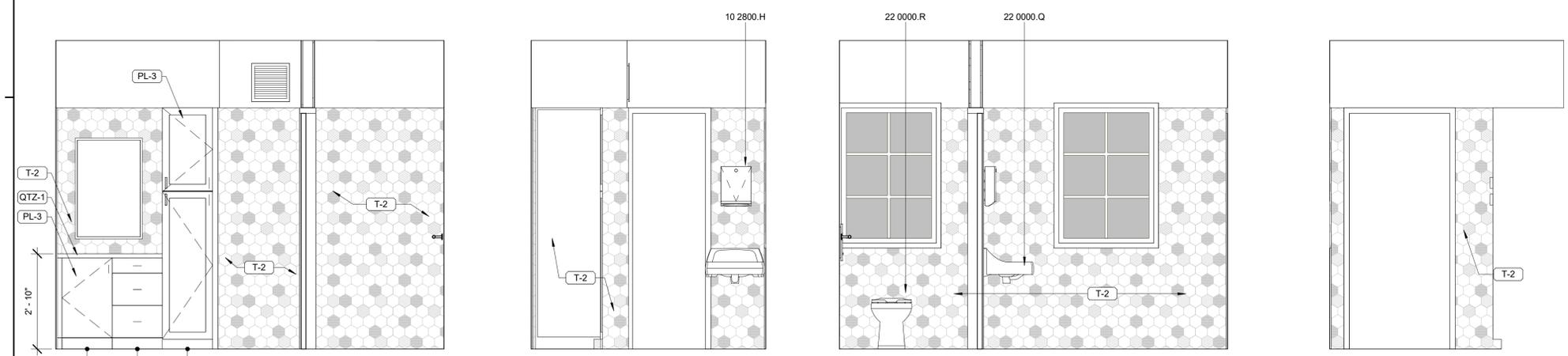


11N 11E



11S 11W

1/2" = 1'-0" MEN'S RESTROOM - THIRD FLOOR



12N 12E 12S 12W

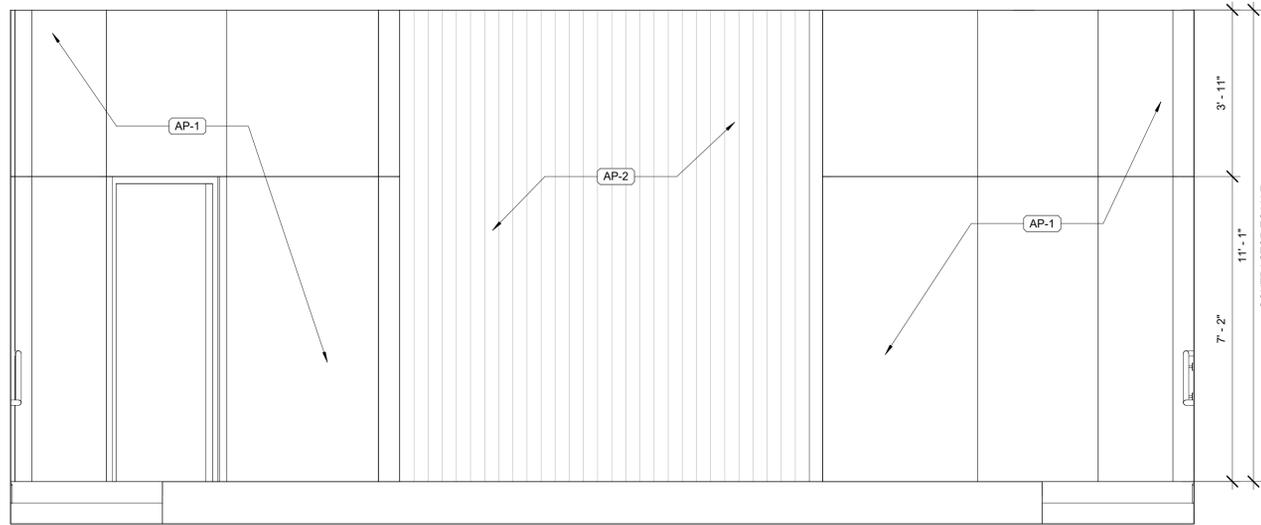
1/2" = 1'-0" WOMEN'S RESTROOM - THIRD FLOOR

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
INTERIOR ELEVATIONS

NO.	REVISION	DATE

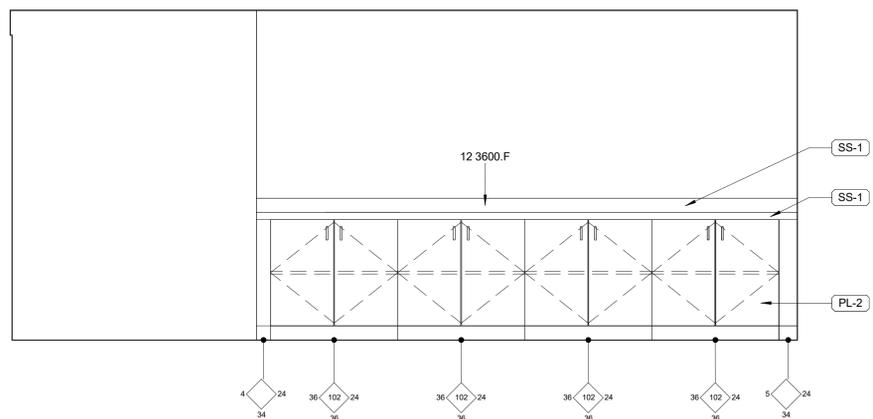
PROJECT MANAGER
JP
DRAWN BY
SD, DDA, AK
CHECKED BY
JP
DATE
09/27/2024
PROJECT NUMBER
3090-01-CU23
SHEET

A-516



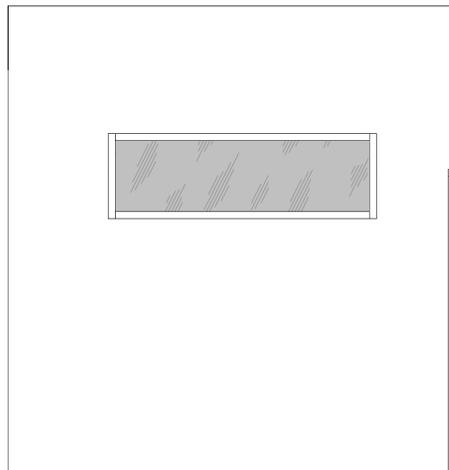
1

1/2" = 1'-0" **COUNCIL CHAMBERS**



2

1/2" = 1'-0" **CONFERENCE ROOM 31 WEST**



3

1/2" = 1'-0" **THIRD FLOOR - HALLWAY**

INT. ELEVS. GENERAL NOTES

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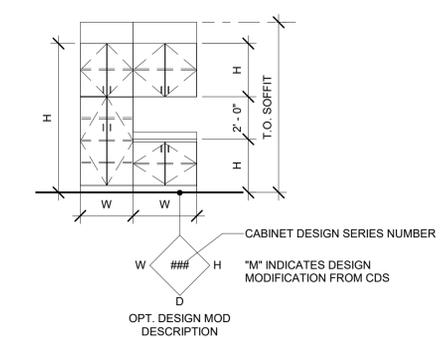
CONSULTANT

AGENCY

KEYNOTES

12 3600.F NEW RECEPTION COUNTER

CASEWORK LEGEND



SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
INTERIOR ELEVATIONS

NO.	REVISION	DATE

PROJECT MANAGER
JP

DRAWN BY SD, DDA, AK **CHECKED BY** JP

DATE
09/27/2024

PROJECT NUMBER
3090-01-CU23

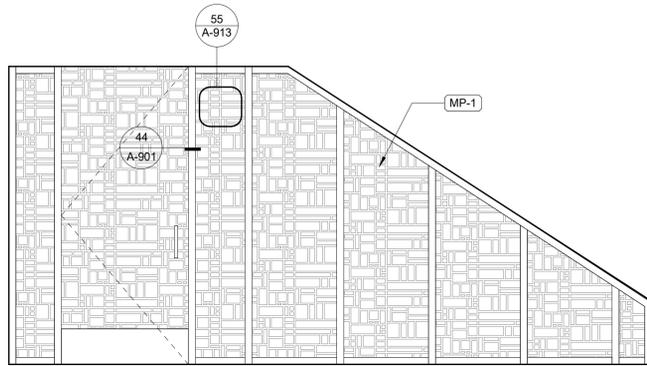
SHEET

A-517

10/11/2024 2:14:38 PM Autodesk Docs://3090-03 Signal Hill City Hall/3090-01 Signal Hill.rvt

BID SET

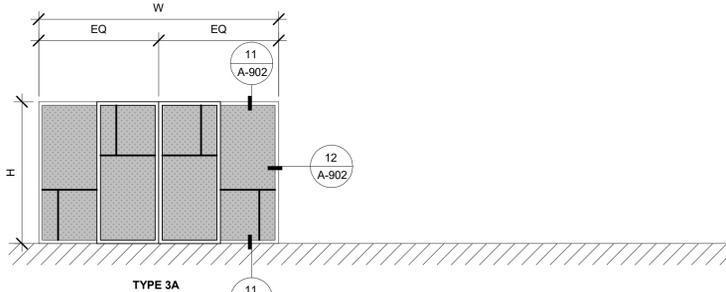
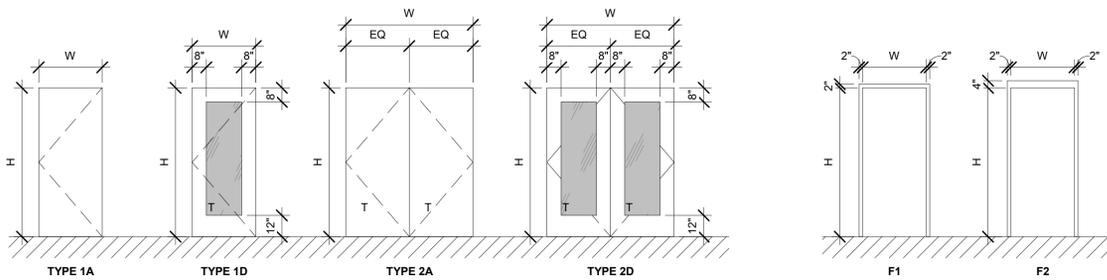
SAFETY EGRESS BARRIER LEGEND



2 LOBBY STOREFRONT

SCALE: 1/2" = 1'-0"

DOOR LEGEND

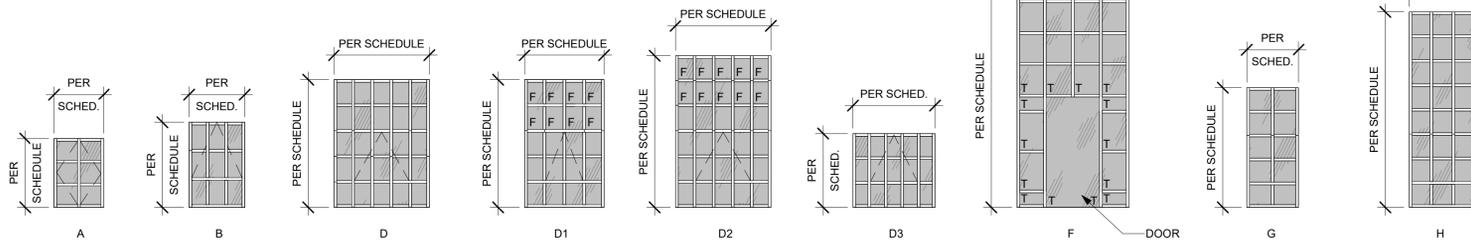


DOOR TYPES

FRAME TYPES

WINDOW LEGEND

NOTES:
F = FROSTED GLAZING (WHERE OCCURS - REFER TO SCHEDULE)
T = TEMPERED GLAZING



DOOR SCHEDULE

NO.	SIZE			DOOR		FRAME		FIRE RATING	HARDWARE GROUP	DETAIL			REMARKS
	WIDTH	HEIGHT	THICKNESS	TYP E	MATL	TYP	MATL			SILL	JAMB	HEAD	
101	6'-0"	7'-0"	1 3/4"	2A	(E) WOOD	F1	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
102	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
102a	6'-0"	7'-0"	1 3/4"	2A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
103	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
103a	3'-0"	7'-0"	1 3/4"	1D	(N) WOOD	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
104	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
105	3'-0"	7'-0"	1 3/4"	1A	(N) WOOD	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
106	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
107	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
108	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
108a	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
109	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
109a	6'-0"	7'-0"	1 3/4"	2A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
110	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
111	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
112	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
113	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
114	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
115	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
116	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
117	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
118	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
201	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			14/A-901	23/A-901	23/A-901	7, 10
202	5'-8 1/2"	6'-10"	1 3/4"	2D	(E) WOOD	S	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
203	3'-0"	7'-0"	1 3/4"	1A	(N) WOOD	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
204	5'-4"	7'-0"	1 3/4"	2D	(E) WOOD	F1	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
204a	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
204b	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
204c	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
205	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
206	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
207	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
210	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
211	5'-8"	6'-8"	2"	3A	(E) WOOD	F3	(N) WOOD			11/A-902	12/A-902	11/A-902	8, 9
212	5'-8"	6'-8"	2"	3A	(E) WOOD	F3	(N) WOOD			11/A-902	12/A-902	11/A-902	8, 9
213	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
214	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
215	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
216	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
217	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
218	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
219	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
219a	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
220	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
221	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			24/A-901	24/A-901	23/A-901	7, 10
222	3'-0"	7'-0"	1 3/4"	1D	(N) WOOD	F2	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
301	3'-0"	7'-0"	1 3/4"	1D	(N) GLASS	F1	(N) WOOD			14/A-901	21/A-901	21/A-901	8, 9
302	3'-0"	7'-0"	1 3/4"	1D	(N) GLASS	F1	(N) WOOD			14/A-901	21/A-901	21/A-901	8, 9
303	3'-0"	7'-0"	1 3/4"	1A	(N) WOOD	F1	(N) WOOD			14/A-901	21/A-901	21/A-901	8, 10
304	3'-0"	7'-0"	1 3/4"	1D	(N) WOOD	F1	(N) WOOD			14/A-901	21/A-901	21/A-901	8, 10, 13
305	3'-0"	7'-0"	1 3/4"	1A	(N) WOOD	F1	(N) WOOD			14/A-901	21/A-901	21/A-901	8, 10
306	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
307	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
307	3'-0"	7'-0"	1 3/4"	1A	(N) WOOD	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	7, 9
308	3'-0"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
310	2'-2"	7'-0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 10
G201	3'-0"	7'-0"	1 3/4"	1A	(N) METAL		(N) METAL				42/A-901		12

DOOR GENERAL NOTES

- REFER TO FLOOR PLANS FOR DOOR LOCATIONS.
- CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES WITH DOOR MANUFACTURER SPECIFICATIONS PRIOR TO FABRICATION OF ROUGH OPENINGS.
- CONTRACTOR TO VERIFY ACTUAL DOOR SIZES TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
- REFER TO DOOR TYPES LEGEND FOR GLAZING.
- REFER TO T24 REPORT FOR GLAZING ENERGY REQUIREMENTS
- INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS
- ALL DOORS TO RECEIVE NEW HARDWARE.
- ALL EXTERIOR WOOD DOORS ARE TO BE STAINED.

DOOR REMARKS

- EGRESS DOOR.
- EQUIPPED W/PANIC HARDWARE.
- INCLUDES SAFETY GLAZING.
- FIRE-RATED DOOR ASSEMBLY. VISION PANELS OR LITES TO RECEIVE WIRE GLASS.
- LOUVERED DOOR.
- KICK-PLATE PROVIDED.
- (E) DOOR TO REMAIN
- (N) DOOR
- DOOR TO BE PAINTED - SHERWIN WILLIAMS
- DOOR TO BE RESTAINED - VARATHANE - DARK WALNUT CLASSIC ON CHERRY WOOD
- (N) DOOR HARDWARE
- INTERIOR STEEL GATE
- FROSTED GLAZING.

DOOR MATERIAL LEGEND

- CL CHAIN LINK
- HM HOLLOW METAL
- MP METAL PICKET
- STL STEEL
- WD WOOD
- T SAFETY GLAZING
- GL GLASS

DOOR SIGN TYPES

- IES ILLUMINATED EXIT SIGN PER DETAIL: 22 / A-912
- RA RESTRICTED ACCESS SIGN, PER DETAIL: 32 / A-912
- X TACTILE EXIT SIGN PER DETAIL: 32 / A-912

DOOR HARDWARE NOTES

- ALL DOORS TO RECEIVE NEW HARDWARE. HARDWARE TO BE BY ALLEGION AS NOTED IN HARDWARE SCHEDULE.
- HARDWARE ON EXISTING EXTERIOR DOORS TO MATCH EXISTING WITH ANTIQUE BRASS FINISH.
- LEVER DESIGN ON INTERIOR DOORS TO BE SCHLAGE L SERIES - LONGITUDE LEVERS. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS.
- EXISTING ENTRY CARD READERS TO REMAIN IN PLACE.
- ENTRY TO INTERIOR SUITES/BACK OF HOUSE AREAS TO RECEIVE NEW CARD READERS. REFER TO DOOR REMARKS AND HARDWARE SCHEDULE.
- PRIVATE OFFICES TO RECEIVE NON ELECTRIC MORTISE STYLE LOCKS BY ALLEGION. REFER TO DOOR REMARKS AND HARDWARE SCHEDULE.
- SINGLE OCCUPANCY RESTROOMS TO RECEIVE ALLEGION PRIVACY MORTISE STYLE LOCKS BY ALLEGION WITH OCCUPIED/VACANT INDICATOR TRIM. REFER TO DOOR REMARKS AND HARDWARE SCHEDULE.

WINDOW GENERAL NOTES

- REFER TO GENERAL NOTES ON SHEET G-101 FOR ADDITIONAL REQUIREMENTS
- REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
- CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES WITH WINDOW MANUFACTURER SPECIFICATIONS PRIOR TO FABRICATION OF ROUGH OPENINGS.
- CONTRACTOR TO VERIFY ACTUAL WINDOW SIZES TO FIT FINISH OPENING PRIOR TO FABRICATION OF WINDOW AND FINISH OPENING.
- HEAD HEIGHT MEASURED FROM FF UNLESS NOTED OTHERWISE.
- REFER TO ENERGY COMPLIANCE REPORTS FOR U-FACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS.
- ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
- PROVIDE SHOP DRAWINGS FOR ALL WINDOW UNITS
- REFER TO WINDOW TYPES LEGEND FOR GLAZING.
- REFER TO WINDOW SCHEDULE AND WINDOW TYPES LEGEND FOR FURTHER INFORMATION.
- STOREFRONT SECTIONS ARE 2" AND CURTAINWALL SECTIONS ARE 2-1/2". UNO. REFER TO STOREFRONT TYPES LEGEND FOR FURTHER INFORMATION.
- WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
- SAFETY GLAZING NOTATED WITH "T"
- ALL WINDOWS IN FIRST FLOOR TO REMAIN.

WINDOW REMARKS

- CONTRACTOR TO VERIFY ALL MEASUREMENTS OF WINDOWS IN FIELD.
- EXISTING WINDOW TO REMAIN.
- INCLUDES SAFETY GLAZING.
- EGRESS WINDOW. MUST MEET CBC REQUIREMENTS.
- PROVIDE FROSTED GLAZING AS SHOWN IN WINDOW TYPES WHERE DROPPED CEILING EXTENDS BELOW WINDOW LINE.
- PROVIDE FROSTED GLAZING FOR WINDOW HIDDEN BEHIND ENCLOSED SPACES OR INTO RESTROOMS.

WINDOW SCHEDULE

TAG	TYPE	MATERIAL	HEIGHT	WIDTH	REMARKS
2.1 SECOND FLOOR					
201	D1	STEEL	8'-4"	4'-9"	1
202	D1	STEEL	8'-4"	4'-9"	1,5
203	D1	STEEL	8'-4"	4'-9"	1,5
204	D1	STEEL	8'-4"	4'-9"	1,5
205	D	STEEL	7'-8"	4'-9"	1,5
206	A	STEEL	4'-3 3/4"	3'-1 1/2"	1,6
207	D	STEEL	8'-6"	6'-0"	1,5
208	D	STEEL	8'-6"	6'-0"	1,5
209	D	STEEL	8'-6"	6'-0"	1,5
210	D1	STEEL	8'-6"	4'-9"	1,5
211	D1	STEEL	8'-6"	4'-9"	1,5
212	D1	STEEL	8'-6"	4'-9"	1,5
213	D2	STEEL	10'-6"	6'-0"	1,6
214	D2	STEEL	10'-6"	6'-0"	1
215	D2	STEEL	10'-6"	6'-0"	1
3.0 THIRD FLOOR					
301	H	STEEL	12'-0"	4'-0"	1
302	G	STEEL	9'-6"	3'-0"	1
303	D2	STEEL	6'-1 1/2"	4'-1 1/2"	1
304	D3	STEEL	4'-7 1/2"	5'-2"	1
305	D3	STEEL	4'-7 1/2"	5'-2"	1
306	D3	STEEL	4'-7 1/2"	5'-2"	1
307	D3	STEEL	4'-7 1/2"	5'-2"	1
308	D3	STEEL	4'-7 1/2"	5'-2"	1
309	D3	STEEL	4'-7 1/2"	5'-2"	1
310	D3	STEEL	4'-7 1/2"	5'-2"	1
311	B	STEEL	4'-7 1/2"	3'-1"	1
312	B	STEEL	4'-7 1/2"	3'-1"	1
313	B	STEEL	4'-7 1/2"	3'-1"	1
314	B	STEEL	4'-7 1/2"	3'-1"	1
315	B	STEEL	4'-7 1/2"	3'-1"	1
316	A	STEEL	4'-3 3/4"	3'-1 1/2"	1
317	A	STEEL	4'-3 3/4"	3'-1 1/2"	1
318	A	STEEL	4'-3 3/4"	3'-1 1/2"	1
319	G	STEEL	6'-0"	3'-0"	1
Grand total: 34					



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SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
DOOR, GATE AND WINDOW SCHEDULE

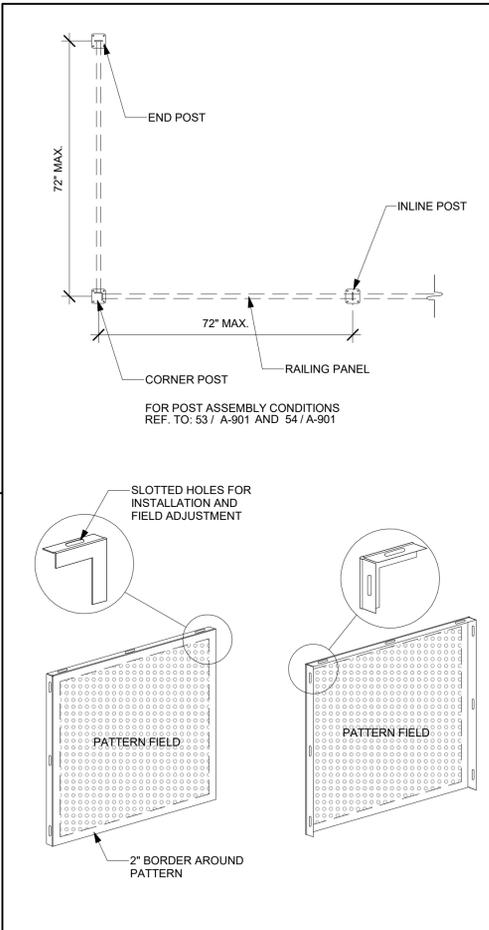
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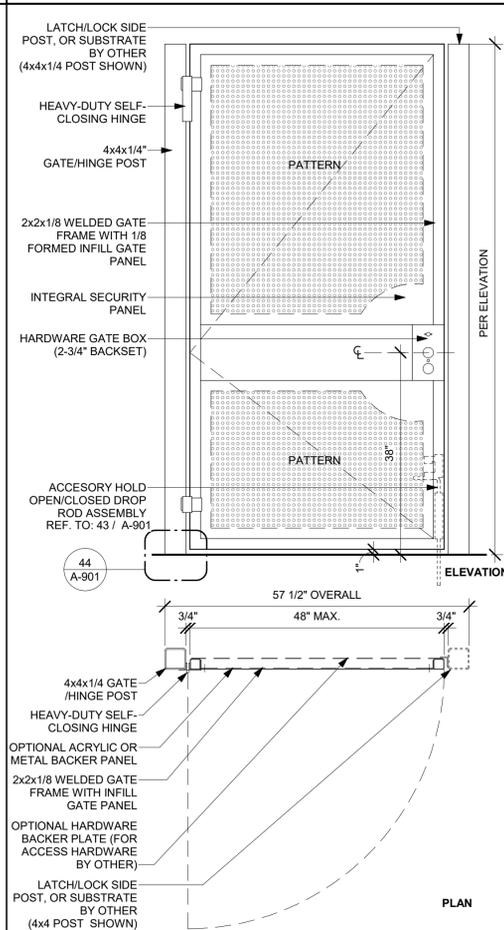
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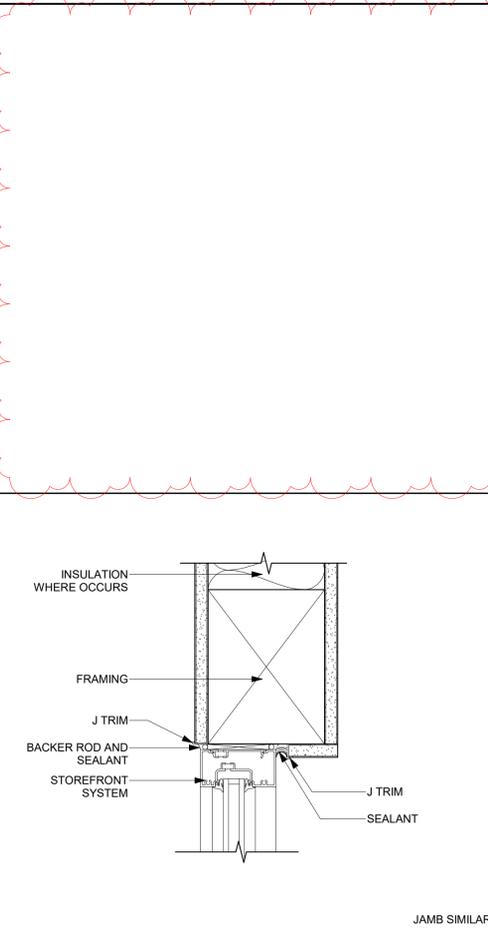
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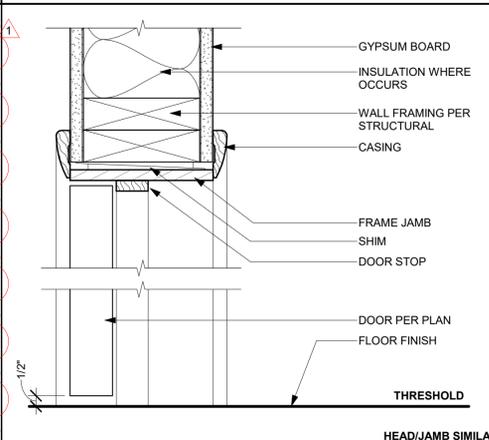
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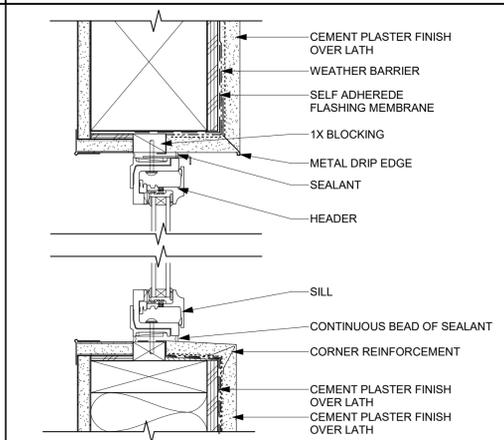
42 GATE PLAN AND ELEVATION
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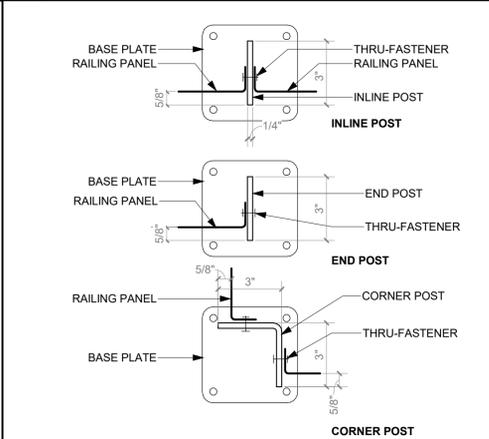
32 STOREFRONT HEAD - INTERIOR
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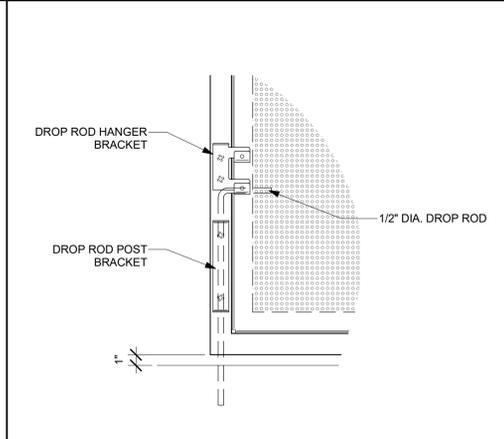
21 WOOD DOOR - INTERIOR
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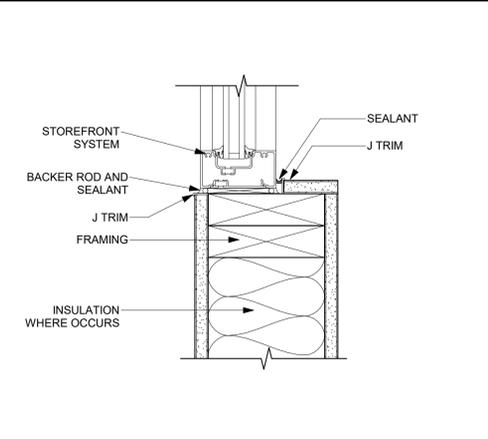
11 WINDOW - EXT - HEAD AND SILL
SCALE: 3\"/>



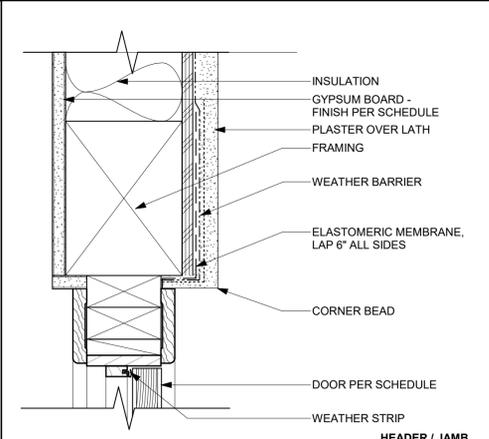
53 POST ASSEMBLY CONDITIONS
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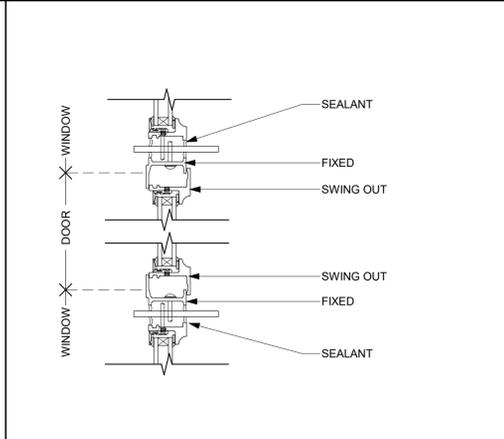
43 GATE - DROP ROD ASSEMBLY
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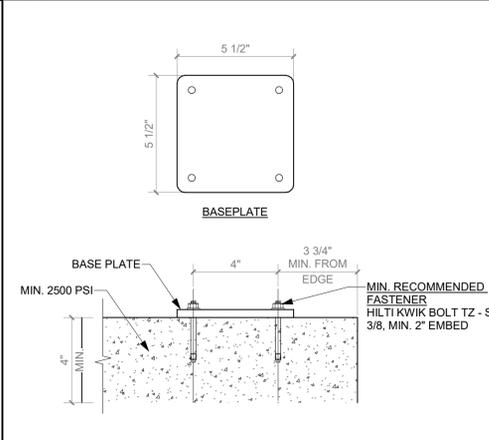
33 STOREFRONT SILL - INTERIOR
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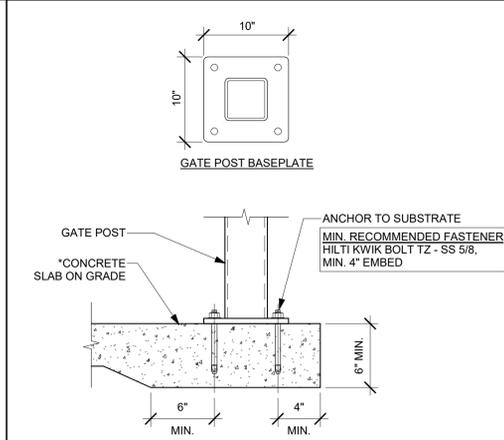
22 WOOD CASING - INTERIOR - NO DOOR
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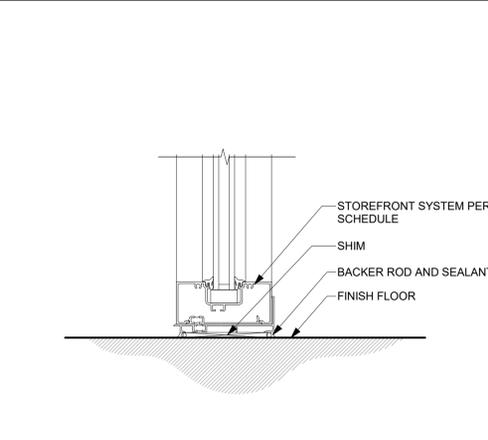
12 WINDOW - EXT - JAMB
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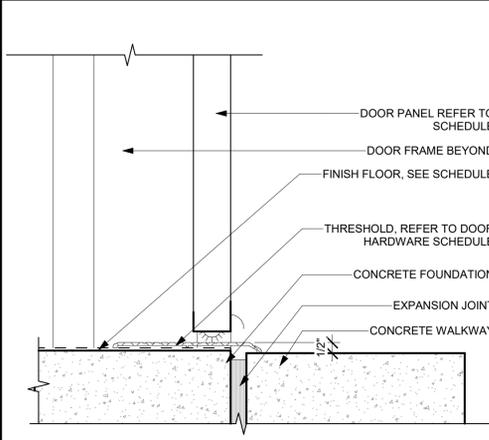
54 RAILING - SURFACE MOUNT GATE POST
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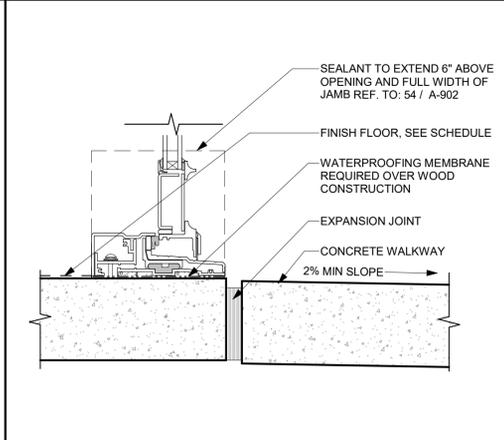
44 GATE - SURFACE MOUNT GATE POST
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34 STOREFRONT @ FINISH FLOOR
SCALE: 3\"/>



24 EXT. DOOR THRESHOLD
SCALE: 3\"/>



14 WINDOW-DOOR - EXT - THRESHOLD
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**SIGNAL HILL CITY HALL - LOBBY
MODERNIZATION**
2175 Cherry Ave, Signal Hill, CA 90755
**ARCHITECTURAL DETAILS - DOOR
AND WINDOW**

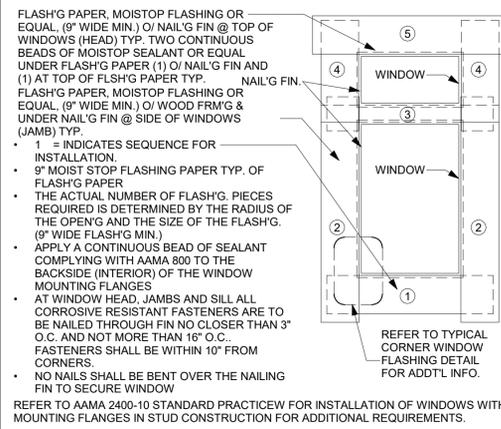
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CHECKED BY
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DATE
09/27/2024
PROJECT NUMBER
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SHEET

A-901

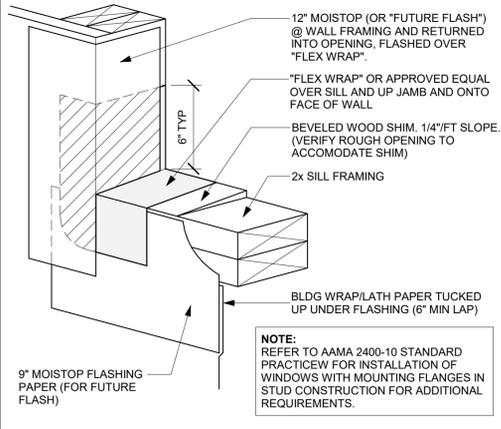
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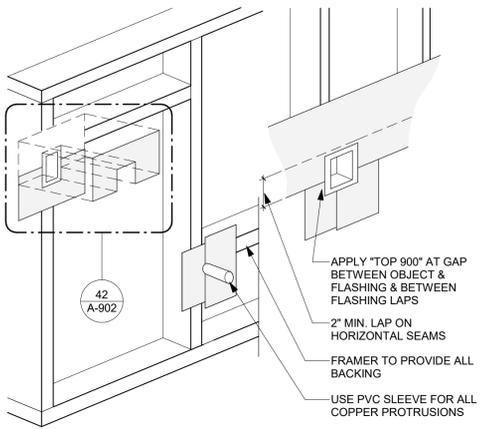
51 TYP WINDOW FLASHING

NTS



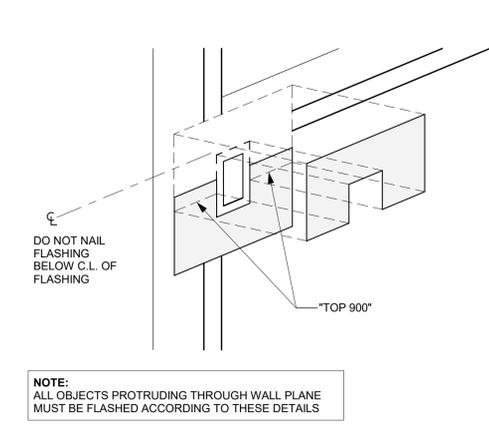
52 FLASHING - WINDOW CORNER TYP.

NTS



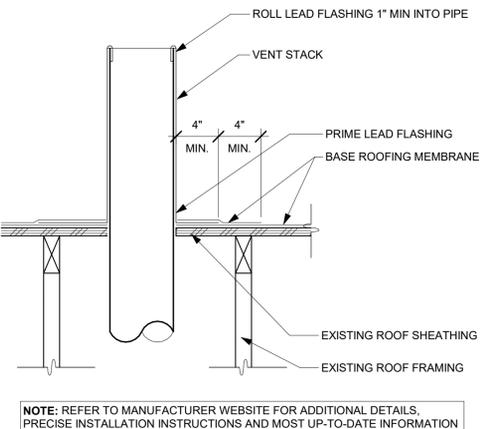
41 FLASHING - PROTRUSIONS

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42 FLASHING - DETAILED PROTRUSION

NTS



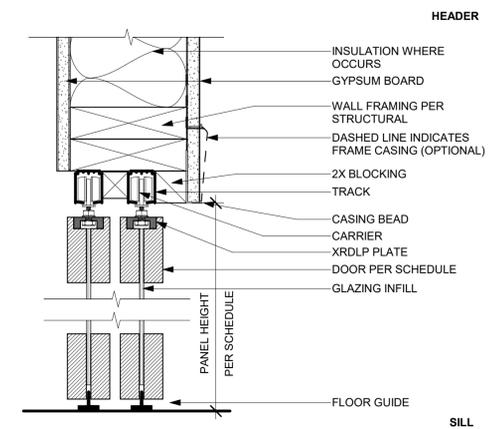
31 ROOF - VENT PIPE

NTS



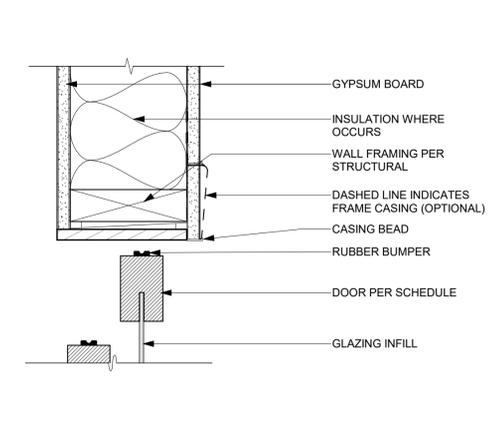
54 FLASHING - DOOR TYP.

NTS



11 SLIDING DOOR - HEADER-SILL

SCALE: 3" = 1'-0"



12 SLIDING DOOR - JAMB

SCALE: 3" = 1'-0"



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SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
 2175 Cherry Ave, Signal Hill, CA 90755
ARCHITECTURAL DETAILS - DOOR AND WINDOW

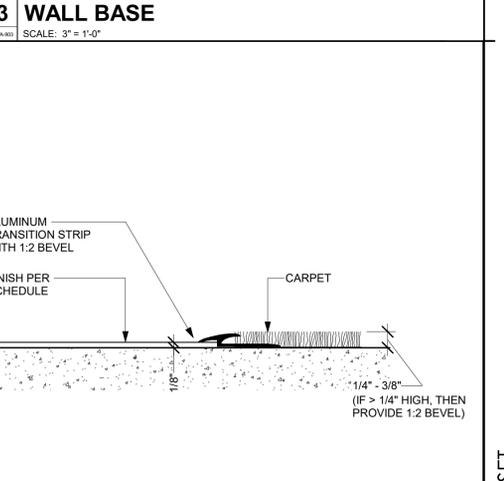
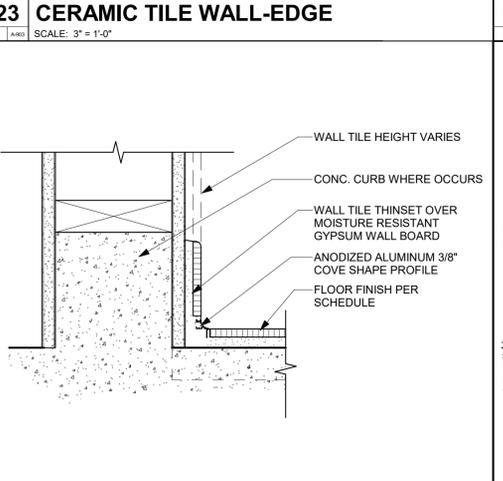
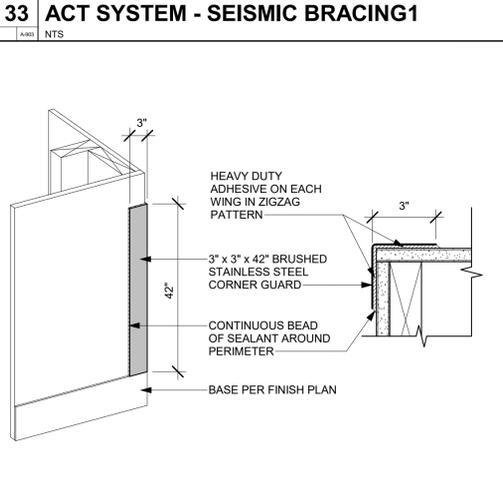
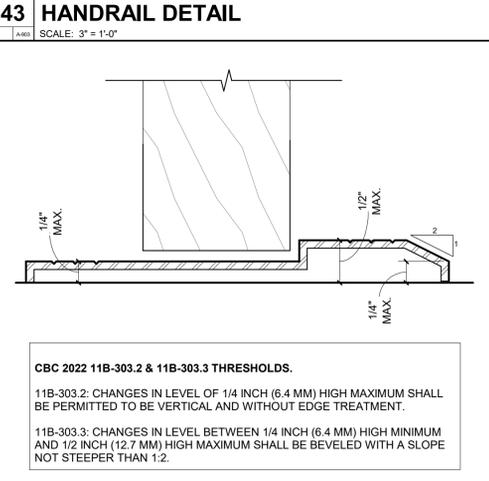
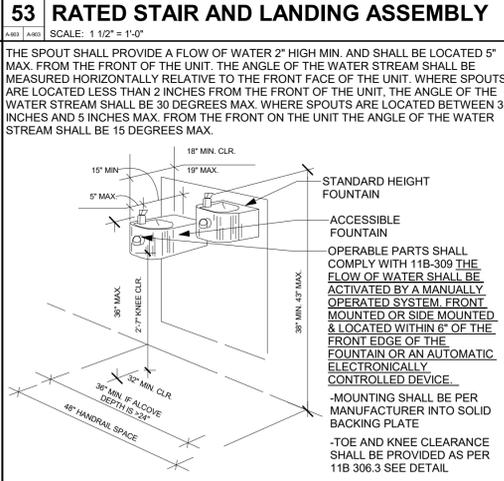
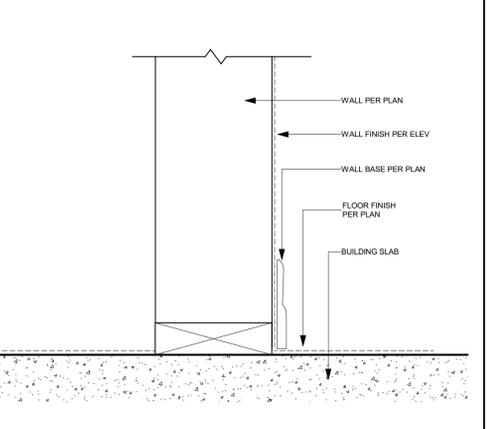
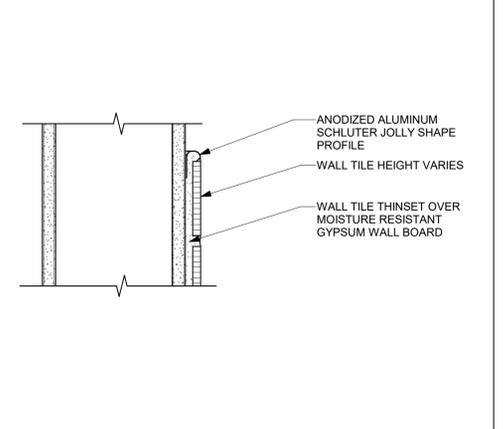
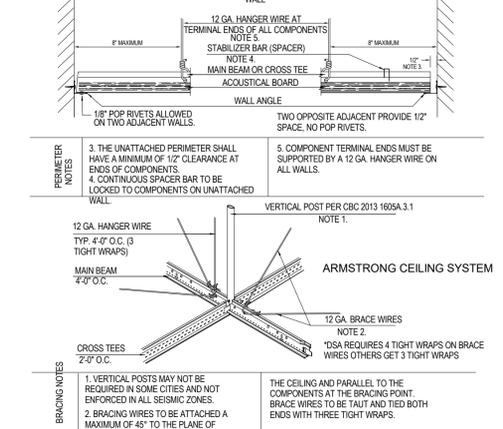
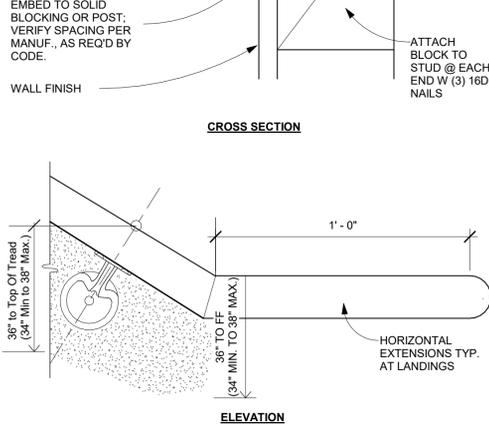
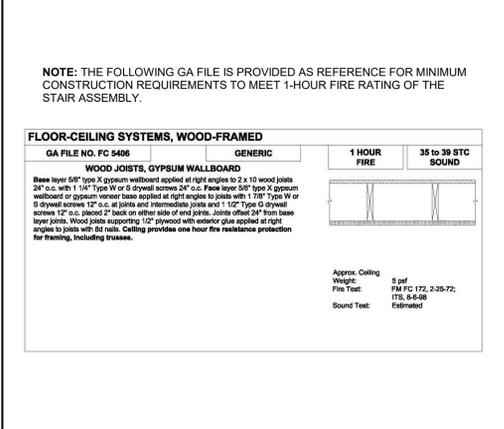
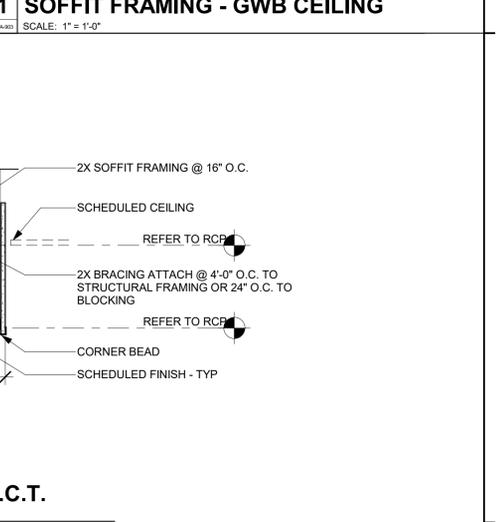
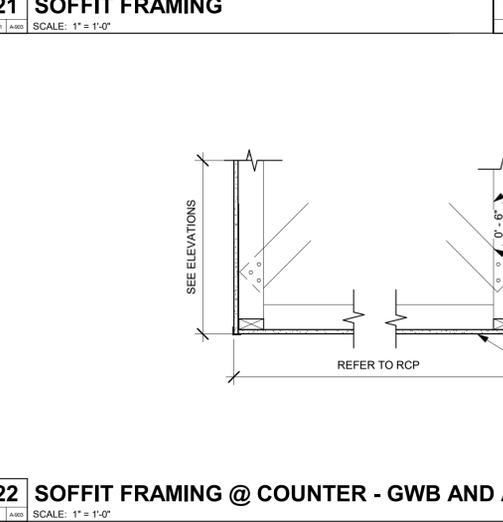
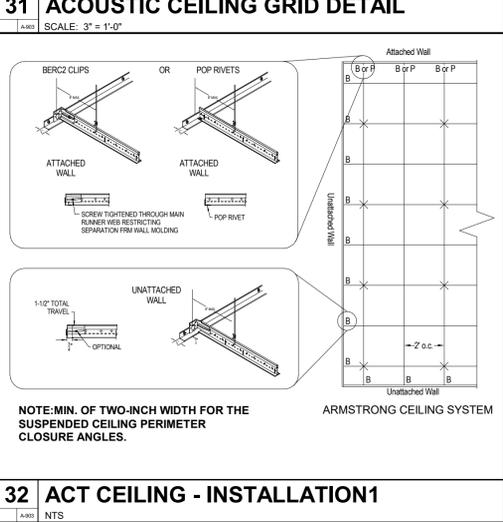
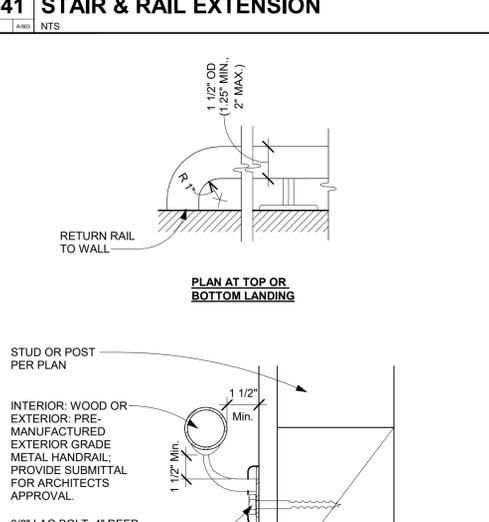
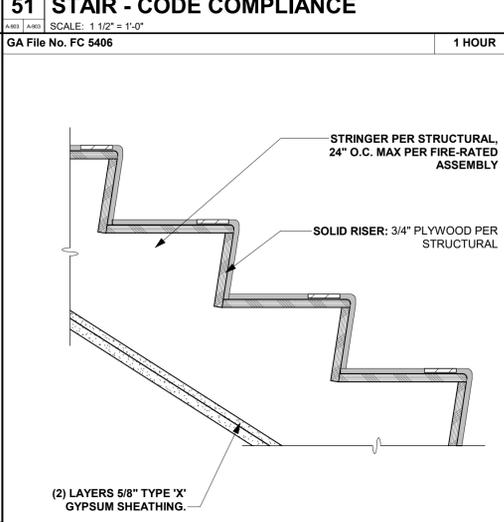
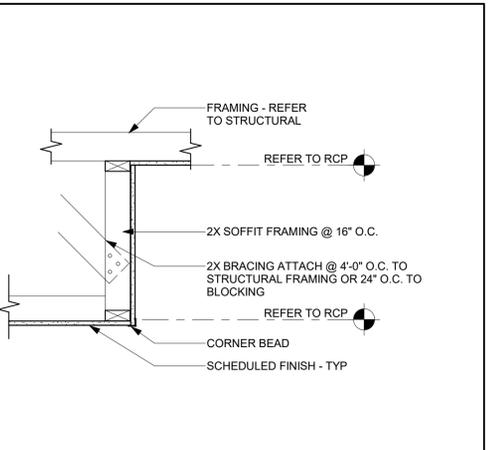
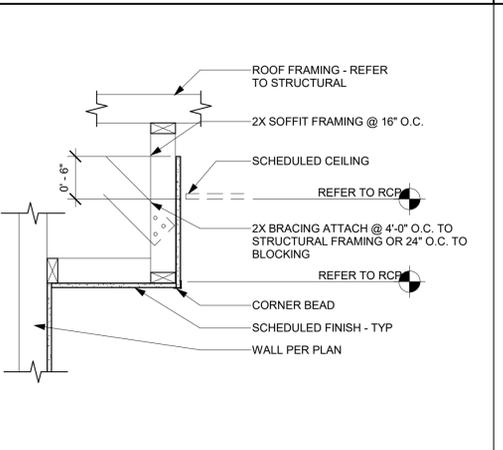
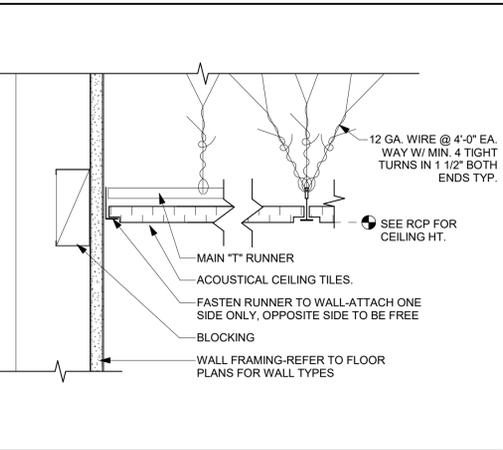
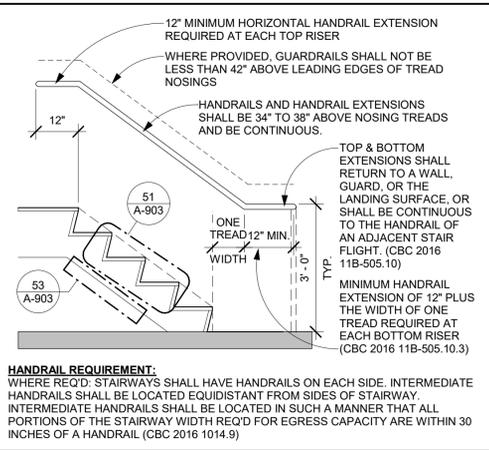
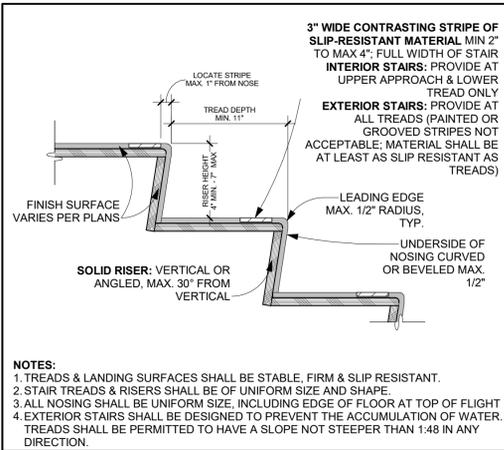
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 JP
 DATE
 09/27/2024
 PROJECT NUMBER
 3090-01-CU23
 SHEET

A-902

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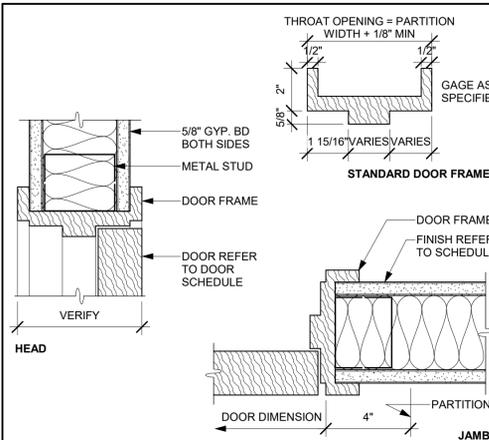
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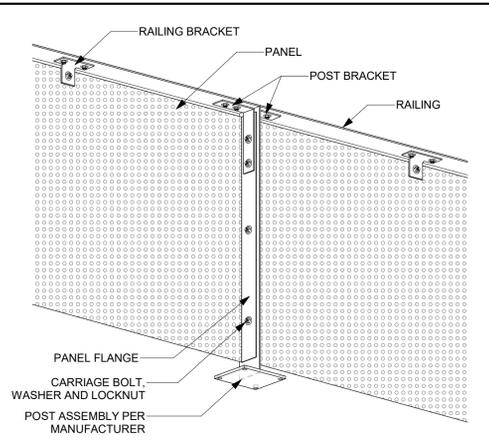
SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
ARCHITECTURAL DETAILS

NO.	REVISION	DATE

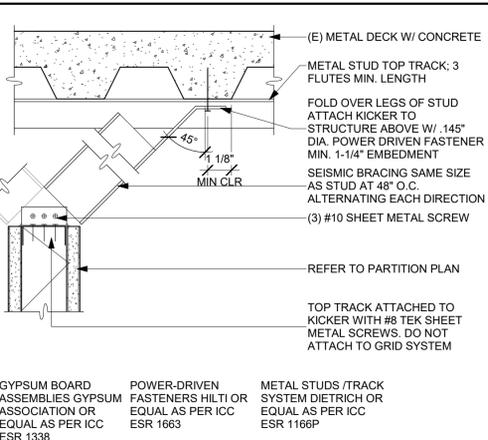
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DRAWN BY: SD, DDA, AK
CHECKED BY: JP
DATE: 09/27/2024
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SHEET: A-903



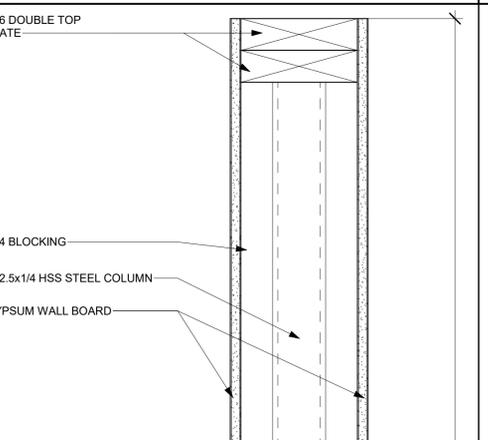
51 DOOR JAMB & HEAD DETAIL
SCALE: 3" = 1'-0"



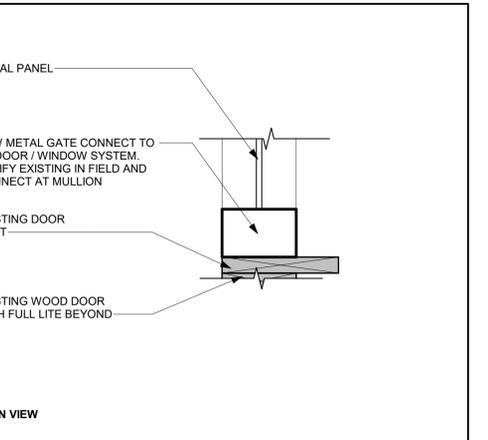
41 RAILING ASSEMBLY
NTS



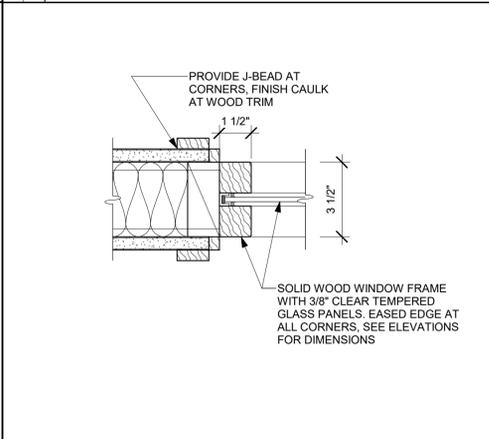
31 TOP TRACK CONNECTION
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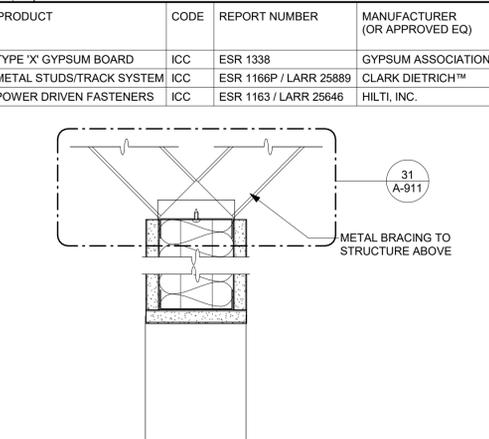
22 HALF WALL DETAIL
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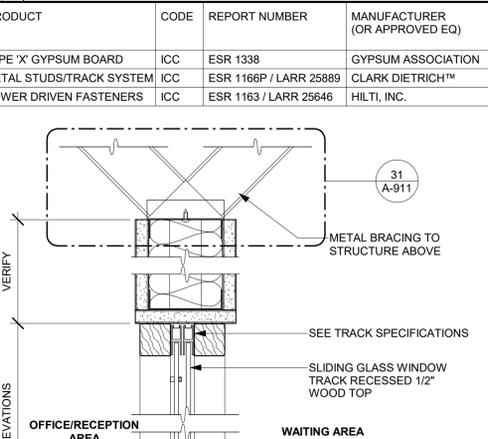
11 METAL PANEL BARRIER TO DOOR FRAME
SCALE: 3" = 1'-0"



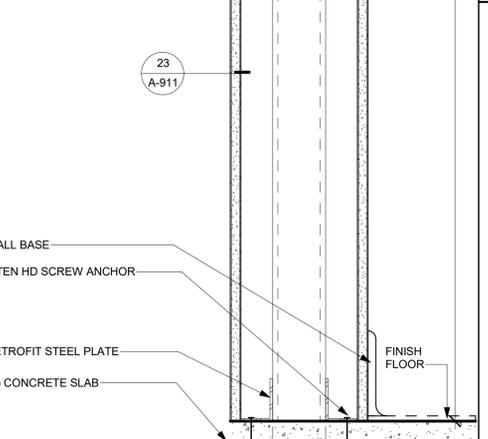
52 MILLWORK DETAIL
SCALE: 3" = 1'-0"



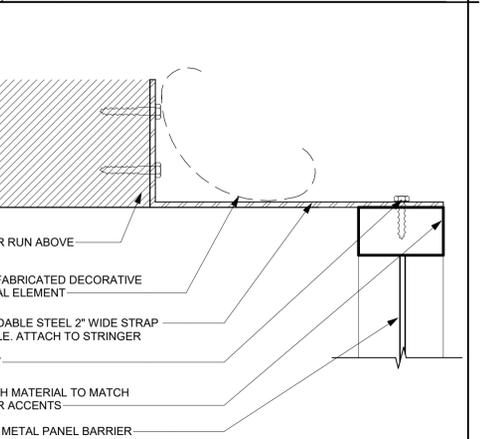
43 COUNTER SECTION
SCALE: 3" = 1'-0"



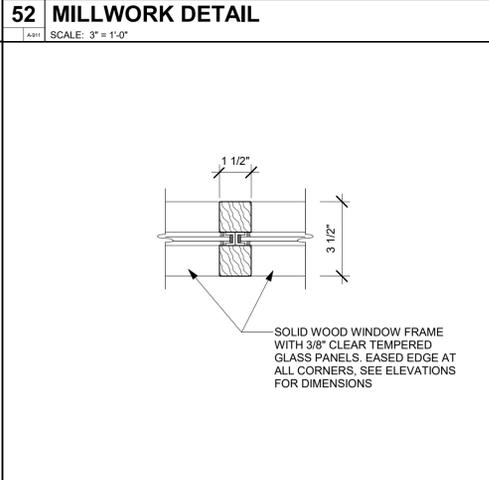
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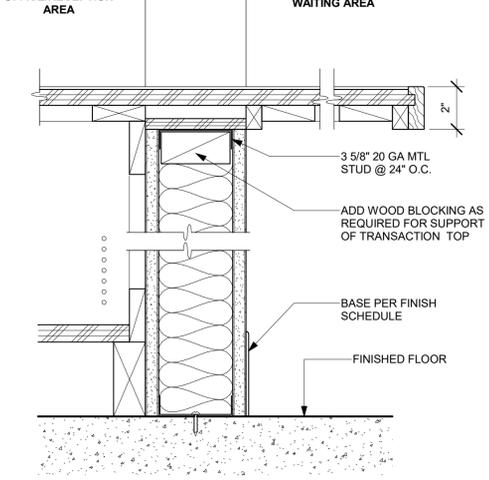
23 HALF-WALL END DETAIL - PLAN
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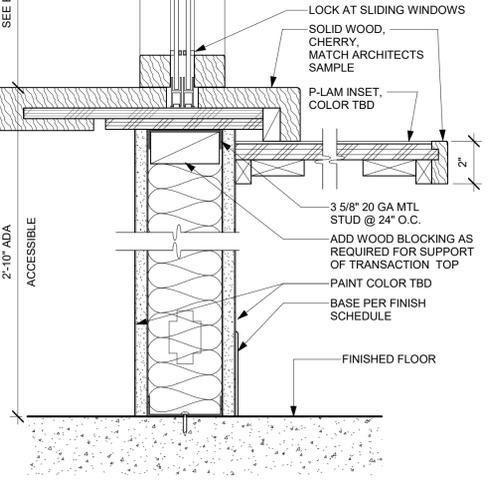
12 GATE TO STAIR CONNECTION
SCALE: 3" = 1'-0"



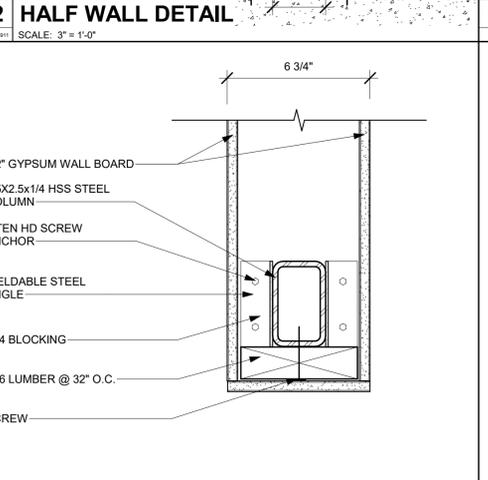
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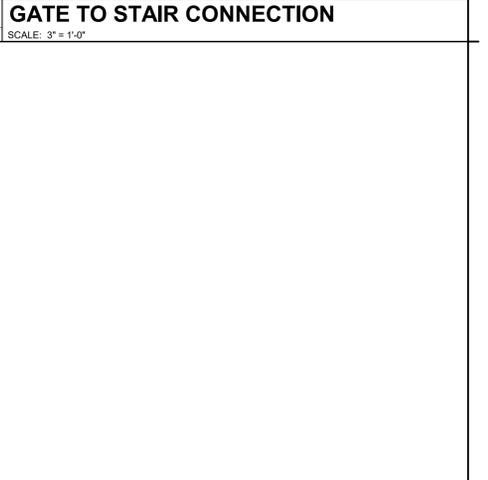
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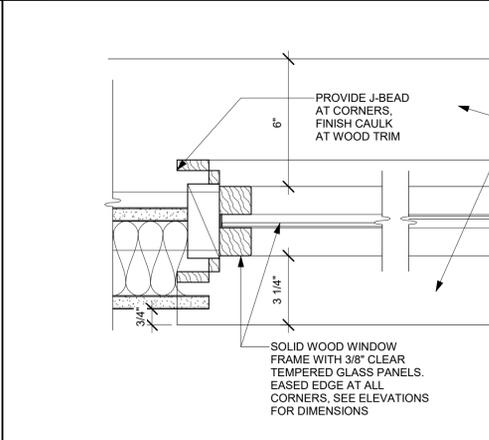
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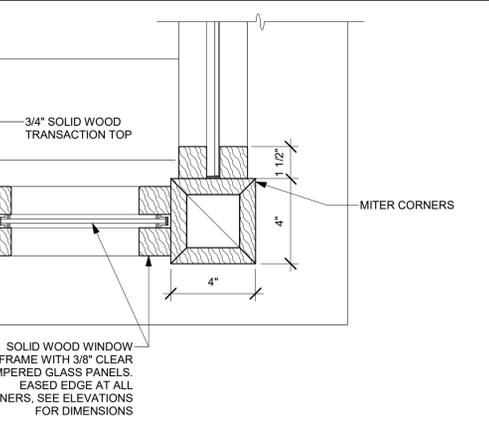
24 WOOD WALL CAP
SCALE: 3" = 1'-0"



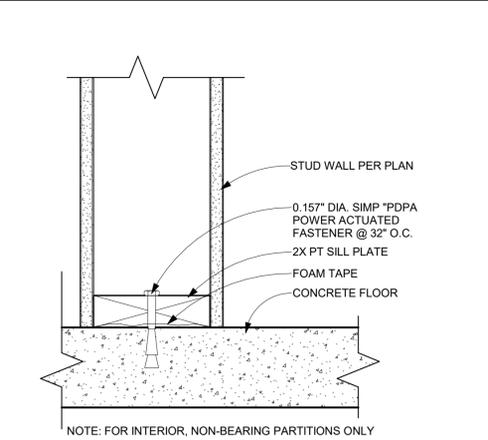
14 FURRED WALL DETAIL
SCALE: 3" = 1'-0"



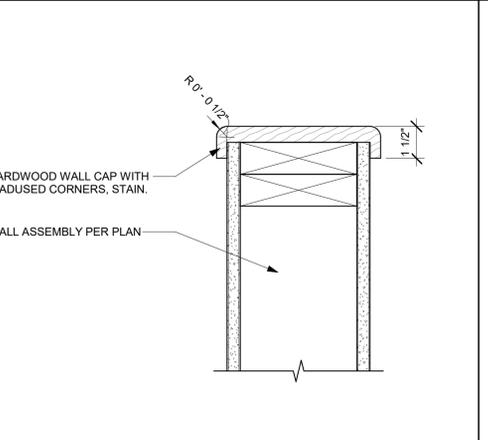
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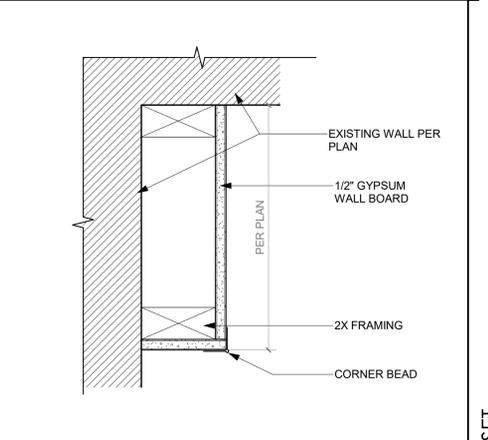
43 COUNTER SECTION
SCALE: 3" = 1'-0"



34 INT. STUD WALL FLOOR CONNECTION
SCALE: 3" = 1'-0"



24 WOOD WALL CAP
SCALE: 3" = 1'-0"



14 FURRED WALL DETAIL
SCALE: 3" = 1'-0"



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CONSULTANT

AGENCY

SIGNAL HILL CITY HALL - LOBBY MODERNIZATION
2175 Cherry Ave, Signal Hill, CA 90755
ARCHITECTURAL DETAILS

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JP
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A-911

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