



REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OF USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. VISUAL CONTACT WITH THESE DRAWING: OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. SUBMITTAL OF THESE DOCUMENTS FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS RRM DESIGN GROUP'S RIGHTS.

CONSULTANT

A C EN C Y

SIGNAL HILL CITY HALL LOBBY MODERNIZATION

2175 CHERRY AVE, SIGNAL HILL, CA 90755

PROJECT GENERAL NOTES

USE OF PLANS: THESE PLANS ARE THE PROPERTY OF RRM AND MAY NOT BE USED WITHOUT THE EXPRESS, WRITTEN CONSENT.

- 1. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO
- DO SO, HE/SHE SHALL BE PRECEDING AT HIS/HER OWN RISK.

 2. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF
- 3. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
 CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR
- CONTRACTOR REQUIREMENTS.

 6. TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS. SUCH FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS, FANS, WATER, PHONES, FENCES, SIGNS, SHEDS, ETC. REMOVE FROM SITE UPON COMPLETION OF WORK. OBTAIN BUILDING OFFICIAL OR FIRE MARTIAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
- 7. CONTRACTOR SHALL PROVIDE FOR PROTECTION AND SAFETY:
 RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACING, ANCHORAGE, FIRE-EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF
 THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY PER
 LOCAL, STATE AND FEDERAL REQUIREMENTS (INCLUDING EARTHQUAKES,
- FIRES, SPILLS, ACCIDENTS, EROSION, MUD, DUST, ETC.).

 8. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
- 9. A SEPERATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPRICAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO ENSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT.
- 10. SHOP WELDS MUST BE PERFORMED BY A LICENSED FABRICATOR'S SHOP.

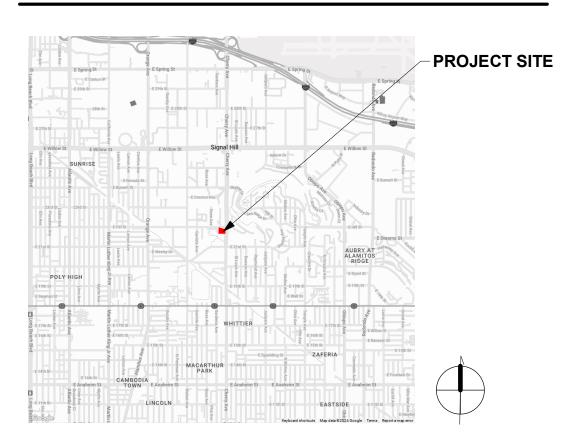
PROJECT DIRECTORY

APPLICANT	ARCHITECT
SIGNAL HILL CITY HALL	RRM DESIGN GROUP
2175 Cherry Ave,	3765 S. Higuera St. Suite 102
Signal Hill, CA 90755 Thomas Bekele	San Luis Obispo, CA 93401 Julia Powers
tbekele@cityofsignalhill.org 562-989-7355	jpowers@rrmdesign.com (805) 543-1794

UTILITIES

	Υ	Υ	Υ	Υ	Υ	γ	γ	L
	WATER SERVICE					CITY O	F SIGNAL HII	_L
	SEWER SERVICE						LACS	D
	ELECTRICAL SER	RVICE					SC	Έ
>	GAS SERVICE					LON	G BEACH GA	\S
	TELEPHONE SER	RVICE					FRONTIE	R
	GARBAGE SERV	CE					EDCO Dispos	al
_	CABLE SERVICE		1		1	t	SPECTRU	М
- \	/	Λ	Λ	Λ	Л	/	Λ	

VICINITY MAP



PROJECT INFORMATION

MODERNIZATION OF 1ST, 2ND AND 3RD FLOOR RAILINGS

DOOR AND WINDOW UPGRADES AND REPLACEMENTS

1ST AND 2ND COUNTER WALL MODERNIZATION

OFFICE LIGHTING AND HVAC ADJUSTMENTS

MODERNIZATION OF 2ND FLOOR LOBBY

 CHAMBER CEILING TILES, DAIS UPGRADES AND LIGHT FI. BREAK AREA AND CONFERENCE ROOM CASEWORK FINIS RESTROOM TILE FINISH UPDATE 	
DESCRIPTION	
OCCUPANCY:	B, A-3, S
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERED:	NO
BUILDING HEIGHT:	46' - 4"

SITE INFORMATION:	
STREET ADDRESS:	2175 CHERRY AVE.
	SIGNAL HILL, CA 90755
APN:	053-153-010

APN: ZONING: LOT SIZE:

BUILDING INFORMATION:

NUMBER OF STORIES:

BUILDING AREA:

PROJECT SCOPE

NUMBER OF STORIES:	3
OCCUPANCY GROUP:	
SPRINKLERED:	NO
HIGH FIRE ZONE:	No

AREA OF WORK

•	EXTERIOR AND INTERIOR WALLS LOBBY COUNCIL CHAMBERS CONFERENCE ROOM KITCHEN PRIVATE OFFICES	VARIES 298 SF 1,130 SF 544 SF 308 SF VARIES

SHEET INDEX

TITLE SHEET

G-001

Grand total: 49

16,764 SF

G-002	GENERAL INFORMATION
G-203	CAL GREEN REQUIREMENTS
G-204	CAL GREEN REQUIREMENTS
G-205	CAL GREEN REQUIREMENTS
G-403	BUILDING CODE ANALYSIS - LEVEL 1
G-404	BUILDING CODE ANALYSIS - LEVEL 2
G-405	BUILDING CODE ANALYSIS - LEVEL 3
G-941	GN-ACCESSIBILTIY DETAILS - CLEARANCES
G-942	GN-ACCESSIBILTIY DETAILS - STAIRS
G-943	ACCESSIBILITY DETAILS - RESTROOMS
GENERAL	
AD-101	FIRST FLOOR PLAN - DEMO
AD-102	
AD-102	THIRD FLOOR PLAN - DEMO
AD-103	FIRST FLOOR REFLECTED CEILING PLAN - DEMO
AD-111	SECOND FLOOR REFLECTED CEILING PLAN - DEMO
AD-112 AD-113	
AD-113 AD-401	
AD-402 DEMOLITI	
DEMOCITI	ON. 6
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-111	FIRST FLOOR REFLECTED CEILING PLAN
A-112	SECOND FLOOR REFLECTED CEILING PLAN
A-113	THIRD FLOOR REFLECTED CEILING PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-401	ENLARGED LOBBY FLOOR PLAN
A-402	ENLARGED LOBBY REFLECTED CEILING PLAN
A-403	ENLARGED RESTROOMS
A-501	FINISH PLANS - LEVEL 1
A-502	FINISH PLAN - LEVEL 2
A-503	FINISH PLAN - LEVEL 3
A-504	ENLARGED LOBBY FINISH PLAN
A-505	FINISH SCHEDULE AND LEGENDS
A-511	INTERIOR ELEVATIONS
A-512	INTERIOR ELEVATIONS
A-513	INTERIOR ELEVATIONS
A-514	INTERIOR ELEVATIONS
A-515	INTERIOR ELEVATIONS
A-516	INTERIOR ELEVATIONS
A-517	INTERIOR ELEVATIONS
A-601	DOOR, GATE AND WINDOW SCHEDULE
A-901	ARCHITECTURAL DETAILS - DOOR AND WINDOW
A-902	ARCHITECTURAL DETAILS - DOOR AND WINDOW
	ARCHITECTURAL DETAILS
A-903	- ··
A-903 A-911	ARCHITECTURAL DETAILS
A-911	ARCHITECTURAL DETAILS ARCHITECTURAL DETAILS
	ARCHITECTURAL DETAILS

HILL CITY HALL - LC MODERNIZATION

SIGN

SHEET

NO.	REVISION	DATE
$\overline{1}$	BID ADDENDUM 1	10/11/24

2175

PROJECT MANAGER

JP

DRAWN BY
SD, DDA, AK

DATE

09/27/2024

PROJECT NUMBER
3090-01-CU23
SHEET

G-001

THIS PROJECT.

USED WITHOUT THE EXPRESS, WRITTEN CONSENT. THESE NOTES APPLY TO ALL PORTIONS, PHASES AND SUBCONTRACTORS OF

- APPLICABLE CODES ARE STANDARDS: 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND
- STANDARDS. 2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND
- 2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND
- STANDARDS. • 2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
- 2022 CALIFORNIA ELECTORAL CODE AND ITS APPENDICES AND
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS
- APPENDICES AND STANDARDS.
- CURRENT CITY OF ARROYO GRANGE MUNICIPAL CODE. 1. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR
- DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO, HE/SHE SHALL BE PRECEDING AT HIS/HER OWN RISK.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO THE FACE OF FRAMING.
- 3. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
- CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS.
- 6. TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS. SUCH FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS FANS, WATER, PHONES, FENCES, SIGNS, SHEDS, ETC. REMOVE FROM SITE UPON COMPLETION OF WORK. OBTAIN BUILDING OFFICIAL OR FIRE MARTIAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
- CONTRACTOR SHALL PROVIDE FOR PROTECTION AND SAFETY: RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACING, ANCHOR-AGE, FIRE-EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY PER LOCAL, STATE, AND FEDERAL REQUIREMENTS (INCLUDING EARTHQUAKES. FIRES, SPILLS, ACCIDENTS, EROSION, MUD, DUST ETC.).
- . THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS., AND FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.
- 9. A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO ENSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL
- 10. SHOP WELDS MUST BE PERFORMED BY A LICENSED FABRICATOR'S SHOP. 11. ALL HORIZONTAL CEILING DRYWALL APPLIED TO TRUSSES SHALL BE 5/8" GYPSUM BOARD.
- 12. ALL EXTERIOR WINDOWS PER OWNER SPECS. REFER TO PLANS FOR SIZE AND EXTERIOR ELEVATIONS FOR ALL GRIDS & COLORS.
- 13. WATER HEATER: (REFER TO BUILDING ANALYSIS REPORT) a. HOT WATER INLET AND OUTLET PIPES INSULATED: EXTERNALLY
- WRAPPED WITH R-4 OR GREATER (FIRST 5 FEET IN UNCONDITIONED SPACES).
- PROVIDE A TEMPERATURE AND PRESSURE RELIEF VALVE WITH A FULL SIZE DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE PROTRUDING 6" MINIMUM @ 2' MAX. ABOVE GRADE POINTING DOWNWARD TO THE TERMINATION - UNTHREADED.
- COMBUSTION AIR PER MANUFACTURE REQUIREMENTS. CLEARANCES PER MANUFACTURE REQUIREMENTS.
- e. THE BURNERS AND BURNER IGNITION DEVICES SHALL BE LOCATED 18" ABOVE THE GARAGE FLOOR UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT (NFPA54:9.1.10.2) (2022 CPC SEC. 507.13)
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION; STRAPPING SHALL BE WITHIN UPPER 1/3 & LOWER 1/3 OF TANK. LOWER STRAP 4" ABOVE CONTROLS. (2022 CPC SEC. 507.2)
- a. WHEN INSTALLED IN A GARAGE THE WATER HEATER SHALL BE GUARDED AGAINST DAMAGE. (2022 CPC SEC. 507.13.1) 14. PROVIDE WATER RESISTIVE BARRIER. WHEN PLASTER IS INSTALLED OVER
- WOOD BASED SHEATHING, BARRIER SHALL COMPLY WITH 2022 CBC **SECTIONS 2510.6.1** OR **2510.6.2**. 15. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-0" W/ TWO ELBOWS. THIS SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. MIN. DIA. 4", SMOOTH, METAL DUCT (2022)
- CMC SEC. 504.4) 16. ALL MANUFACTURED EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION AND DIMENSIONS VERIFIED WITH
- INSTALLATION REQUIREMENTS. 17. SHOWERS AND TUB-SHOWER COMBINATIONS: CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES (2022 CPC SEC.
- 18. PROVIDE TEMPERED GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, SAUNAS, STEAM ROOMS, HOT TUBS & SIMILAR USES WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60-INCHES ABOVE A STANDING SURFACE. (2022 CBC 2406.4.5)
- 19. HEATING AND AIR-CONDITIONING SYSTEM DESIGN SHALL CONFORM TO CALGREEN SEC. 4.507.2.
- 20. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT GARAGE SIDE OF WALLS AND CEILINGS COMMON TO DWELLING AND COVER ALL BEAMS & POSTS, AS WELL AS SOFFITS & FURRED SPACES. ALSO AT UNDERSIDE OF ACCESSIBLE UNDER STAIR AREAS. ONE HOUR CONSTRUCTION FOR ALL WALLS & SOFFITS.

ENERGY CODE MANDATORY FEATURES

1. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING

- ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WETHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION (2022 CEnC SEC. 110.7)
- 2. ATTTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE (2022 CEnC SEC. 150.0(a)3)
- PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN. NIGHT LIGHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY
- SENSORS (Exception 2 to 2022 CEnC SEC. 150.0(k)1A) 4. ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE
- WITH CEnC TABLE 150.0-A. (2022 CEnC 150(k)1A) 5. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL. (2022 CEnC 150(k)1E)

DOORS

- 1. EGRESS DOORS (2022 CBC 1010.1)
- a. MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF 2022 CBC
- b. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREAS CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY (2022 CBC 1010.1.2.1) c. ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE (2022 CBC1010.1.4)
- d. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHERE A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF ITS REQUIRED WIDTH. DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" EXCEPT AS NOTED PER 2022 CBC 1010.1.5.
- e. EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

EXCEPT AS SPECIFICALLY PERMITTED PER 2022 CBC 1010.2.

THAN ONE OPERATION EXCEPT AS NOTED PER 2022 CBC 1010.2.1. g. SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, I-2 OR I-2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR

f. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE

- FIRE EXIT HARDWARE EXCEPT AS NOTED PER **2022 CBC 1010.2.9**. h. EXIT OR EXIT ACCESS DOORS SERVING TRANSFORMER VAULTS, ROOMS DESIGNATED FOR BATTERIES OR ENERGY STORAGE SYSTEMS, OR MODULAR DATA CENTERS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE.
- ROOMS CONTAINING ELECTRICAL EQUIPMENT RATED 800 AMPERES OR MORE, THAT CONTAIN OVERCURRENT DEVICES, SWITCHING DEVICES OR CONTROL DEVICES AND WHERE THE EXIT OR EXIT ACCESS DOOR IS LESS THAN 25 FEET (7620 MM) FROM THE EQUIPMENT WORKING SPACE AS REQUIRED BY NFPA 70, SUCH DOORS SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE. THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL (2022 CBC 1010.2.9.2)
- i. REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND M OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH 2022 CALIFORNIA REFERENCED STANDARDS CODE SFM STANDARD 12-10-202 HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR
- BURRED EDGES LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A
- RETURN TO WITHIN 1/2" OF THE DOOR FACE 2. ACCESSIBILITY REQUIREMENTS AT DOORS, DOORWAYS, AND GATES (2022 CBC
- a. MINIMUM CLEAR WIDTH AT ACCESSIBLE DOORS IS 32" MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN
- 90 DEGREES (2022 CBC 11B-404.2.3) b. MANEUVERING CLEARANCES SHALL COMPLY WITH (2022 CBC 11B-404.2.4).
- REFER TO PLANS FOR MINIMUM CLEARANCES c. THRESHOLDS SHALL BE 1/2" HIGH MAX (2022 CBC 11B-404.2.5); REFER TO
- d. MAXIMUM DOOR OPENING FORCE OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS, AND AS ALLOWABLE BY THE ADMINISTRATIVE AUTHORITY AT FIRE DOORS (NOT TO EXCEED 15 LBS). (2022 CBC 11B-404.2.9)
- e. HAND-ACTIVATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE (2022 CBC 11B-404.2.7 AND 2022 CBC 11B-309.4)
- f. OPERABLE PARTS SHALL BE BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR (2022 CBC 11B-404.2.7) g. CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90
- DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM (2022 CBC 11B-404.2.8.1) h. SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FF OR GROUND SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE
- FULL WIDTH OF THE DOOR OR GATE EXCEPT AS NOTED **PER 2022 CBC** 11B-404.2.10
- 3. OPENING PROTECTIVES AND FIRE DOOR ASSEMBLIES (2022 CBC 716 AND
- a. FIRE DOORS SHALL COMPLY WITH THE PROVISIONS OF 2022 CBC 716 AND
- b. FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING PER 2022 CBC 716.2.6.1 c. SIDE-HINGED DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252
- OR UL 10C (2022 CBC 716.2.1.1) d. UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF SIDE-HINGES
- SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED 2022 CBC 716.2.6.2 e. FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR
- UL 10C WITHOUT THE HOSE STREAM TEST EXCEPT AS NOTED PER 2022 CBC 716.2.2.1 f. FIRE DOOR ASSEMBLIES THAT SERVE AS SMOKE AND DRAFT CONTROL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH UL 1784 (2022 CBC
- 716.2.1.4) q. FIRE DOOR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY
- AFFIXED TO THE DOOR OR FRAME 2022 CBC 716.2.9 h. SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION 2022 CBC 716.2.9.1 AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL OF THE DOOR PER 2022 CBC 716.2.9.3
- i. PER 2022 CBC 716.2.9.1, FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION READILY TRACEABLE BACK TO THE MANUFACTURER, THE NAME OR TRADEMARK OF THE THIRD-PARTY INSPECTION AGENCY, THE FIRE PROTECTION RATING AND, WHERE REQUIRED FOR FIRE DOORS IN INTERIOR EXIST STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS BY 2022 CBC SECTION 716.2.2.3, THE MAXIMUM TRANSMITTED TEMPERATURE END POINT.
- GLAZING a. GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH **2022 CBC CHAPTER 24 - SAFETY GLAZING.** LOCATIONS TO
- BE NOTED WITH "T". b. GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2022 CBC 716.1.2 IN ADDITION TO THE REQUIREMENTS OF SECTIONS 2022 CBC 716.2 AND 2022 CBC 716.3
- RESPECTIVELY, AND NFPA 80 c. IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST (2022 CBC 716.2.5.3) (TRANSOM AND SIDE-
- LITES SEE **2022 CBC 716.2.5.4**) d. FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN 2022 CBC 716.2.5.1.2.1 AND 716.2.5.1.2.2

WINDOWS

- WINDOWS IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS. (2022 CBC SEC. 2406.4)
- a. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE
- CONSIDERED TO BE A HAZARDOUS LOCATION (2022 CBC 2406.4.2) b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A
- HAZARDOUS LOCATION (2022 CBC 2406.4.3) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR ONE OR MORE WALKING SURFACE(S) WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
- c. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDING BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS
- NOTED PER **2022 CBC 2406.4.6** d. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A
- HAZARDOUS LOCATION EXCEPT AS NOTED PER 2022 CBC 2406.4.7 2. AT HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING, PROVIDE IDENTIFICATION FOR EACH PANE PER 2022 CBC 2406.3
- . EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX SILL HEIGHT OF 44" AFF, MIN NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 SF. EXCEPTION: MIN 5 SF AT GROUND FLOOR, MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24". WIDTH: 20". EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. (2022 CBC SECTION 1031)
- . WINDOWS IN GROUP R-1, R-2, AND R-3 BUILDINGS INCLUDING DWELLING UNITS WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW IS LOCATED LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING PER **2022 CBC 1015.8**:
 - OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION
- OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090 OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH 2022 CBC SECTION 1015.8.1

STAIRS AND HANDRAILS NOTES

- 1. VERIFY ALL DIMENSIONS AND FIELD VERIFY EXTERIOR FINISH GRADE ELEVATIONS AT EACH BUILDING FOR EACH STAIR
- HANDRAIL: HEIGHT SHALL BE MIN. 34", MAX. 38" ABOVE STAIR NOSING. (2022 CBC SEC.1014.2)
- 3. THE HAND GRIP PORTION OF THE HANDRAIL SHALL BE: TYPE 1: A MINIMUM DIAMETER OF 1-1/4" AND A MAXIMUM DIAMETER OF 2" IN CROSS SECTION DIMENSION (2022 CBC SEC. 1014.3.1) OR TYPE 2: A PERIMETER GREATER THAN 6 1/4" SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE (2022 CBC SEC. 1014.3.2). THE GRIP SHALL BE 1-1/2" CLEAR FROM WALL. (2022 CBC SEC. 1014.7)
- 4. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS WHERE REQUIRED BY 2022 CBC 11B 505.2. HANDRAILS AT ONE SIDE SHALL BE PERMITTED AS ALLOWED BY 2022 CBC 1011.11 EXCEPTION 1 HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED
- BY A NEWEL POST AT A TURN OR LANDING. (2022 CBC SEC. 1014.4, EXC. 1) EXCEPT AS NOTED PER 2022 CBC 1014.6, WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND
- HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT RAMPS WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN RUNS, THE HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12" MIN BEYOND THE TOP AND BOTTOM OF RAMP RUNS.
- HEADROOM: PROVIDE A MINIMUM OF 80" (6'-8") CLEAR ABOVE ALL PORTIONS OF THE STAIRS AND LANDINGS. THIS DIMENSION SHALL BE MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. (2022) CBC SEC. 1011.3)
- 8. GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH, MEASURED
- VERTICALLY. (2022 CBC SEC. 1015.3) 9. FOR REQUIRED GUARDS, INTERMEDIATE MEMBERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. (2022 CBC SEC.
- 10. FOR OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2. GUARDS ON THE OPEN SIDES OF STAIRS ALSO SERVING AS A HANDRAIL SHALL BE NOT LESS THAN 34" OR MORE THAN 38". (2022 CBC SEC. 1015.3, EXC. 2)
- 11. USABLE SPACE UNDER STAIRS SHALL BE PROTECTED WITH 1/2" TYPE X GYPSUM BOARD OR ANOTHER ACCEPTABLE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. (2022 CBC SEC. 1011.7.3, EXC)
- 12. MINIMUM TREAD DEPTH SHALL BE 10" (INTERIOR OF UNITS) AND 11" (EXTERIOR OF UNITS). (2022 CBC SEC. 1011.5.2, EXC. 3). MAXIMUM VARIATION OF 3/8" (2022 CBC SEC. 1011.5.4) 13. MAXIMUM RISE SHALL BE 7.75" (INTERIOR OF UNITS) AND 7" (EXTERIOR OF
- UNITS).(2022 CBC SEC. 1011.5.2, EXC. 3). MAXIMUM VARIATION OF 3/8" (2022 CBC SEC. 1011.5.4) 14. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A MINIMUM CLEAR WIDTH OF 36". (2022 CBC SEC. 1011.2, EXC. 1)

15. RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL

- NOT BE LESS THAN 1/16" AND NOT GREATER THAN 9/16". (2022 CBC SEC. 16. NOSING PROJECTIONS: THE LEADING EDGES OF TREADS SHALL NOT
- BE MORE THAN 1 1/4" BEYOND THE TREAD BELOW. (2022 CBC SEC. 1011.5.5.1)
- 17. EXTERIOR LANDING OF EXTERIOR STAIR SHALL NOT HAVE A SLOPE OF MORE THAN 1/4" PER FOOT FOR DRAINAGE. COORDINATE WITH CIVIL DWGS. 18. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A

STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MIN OF 2" WIDE TO A MAX OF 4" WIDE PLACED PARALLEL TO , AND NOT MORE THAN 1" FROM. THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT. (2022 CBC 11B-504.4.1)

ABBREVIATIONS

A/C	AIR CONDITIONING	FOM	FACE OF MASONRY	PVMT	PAVEMENT
ABV	ABOVE	FOS	FACE OF STUD	QTY	QUANTITY
ACOUS	ACOUSTICAL	FRP	FIBERGLASS REINFORCED PANELS	R	RADIUS, RISER
	ACOUSTICAL CEILING TILE	FT	FOOT OR FEET	RB	RUBBER BASE
ACT					
ADA	AMERICANS WITH DISABILITIES ACT	FTG	FOOTING	RCP	REFLECTED CEILING PLAN
AFCI	ARC FAULT CIRCUIT INTERRUPTER	GA	GAUGE, GAGE	RD	ROOF DRAIN
AFF	ABOVE FINISH FLOOR	GALV	GALVANIZED	REF	REFRIGERATOR
		GB	GRAB BAR	REINF	REINFORCED
AL	ALUMINUM				
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	REQD	REQUIRED
ARCH	ARCHITECT(URAL)	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	RH	RIGHT HAND
BD	BOARD	GT	GROUT	RM	ROOM
BDRM	BEDROOM	GWB	GYPSUM BOARD	RO	ROUGH OPENING
BET	BETWEEN	GYP	GYPSUM	RTU	ROOF TOP UNIT (MECH)
BIT	BITUMINOUS	HB	HOSE BIBB	S	SOUTH
BLDG	BUILDNG	HC	HOLLOW CORE	SAFB	SOUND ATTENUATION FIBER BATT
BLKG	BLOCKING	HDWD	HARDWOOD	SAWP	SELF ADHEREING WATERPROOFING
BLW	BELOW	HDWR	HARDWARE	SC	SCUPPER/SOLID CORE
BM	BEAM	HGT	HEIGHT		SCHEDULE
BOT	BOTTOM	HM	HOLLOW METAL	SEAL	SEALANT
BUR	BUILT UP ROOF	HORIZ	HORIZONTAL	SECT	SECTION
СВ	CATCH BASIN	HVAC	HEATING, VENTILATION, A/C	SF	SQUARE FOOT
	CALIFORNIA BUILDING CODE			SHT	SHEET
CBC		ID	INSIDE DIAMETER		
CEM	CEMENT	IIC	IMPACT INSULATION CLASS		SHEATHING
CFM	CUBIC FEET PER MINUTE	IN	INCH	SIM	SIMILAR
CIP	CAST IN PLACE	INCAND	INCANDESCENT	SM	SHEET METAL
CJ	CONTROL JOINT	INSUL	INSULATION, INSULATED	SPEC	SPECIFICATION
	CENTER LINE		INTERIOR		SQURE
CL		INT		SQ	
CLG	CEILING	JC	JANITORS CLOSET	SS	SOLID SURFACE
CLO	CLOSET	JT	JOINT	SSTL	STAINLESS STEEL
CLR	CLEAR	LAM	LAMINATE	STC	SOUND TRANSMISSION CLASS
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	STD	STANDARD
CO	CLEAN OUT	LBS	POUNDS	STL	STEEL
COL	COLUMN	LEED	LEADERSHIP IN ENERGY AND	STOR	STORAGE
CONC	CONCRETE	_	ENVIRONMENTAL DESIGN	STRUCT	STRUCTURAL
CONST	CONSTRUCTION	LF	LINEAR FEET	SUSP	SUPSPENDED
CONT	CONTINUOUS	LIN	LINEN CLOSET	SV	SHEET VINYL
CONTR	CONTRACTOR	LINO	LINOLEUM	SYM	SYMMMETRICAL
CPT	CARPET	LT(G)	LIGHT(ING)	T	TREAD
		LVL	LAMINATED VENEER LUMBER		
CT	CERAMIC TILE	LVT	LUXURY VINYL TILE	T&G	TONGUE & GROOVE
CTR	CENTER			TB	TACKBOARD
DBL	DOUBLE	LW	LIGHTWEIGHT	TEL	TELEPHONE
DF	DRINKING FOUNTAIN	MAX	MAXIMUM	TEMP	TEMPERED
DIA	DIAMETER, DIAPHRAGM	MDF	MEDIUM DENSITY FIBERBOARD	TER	TERRAZZO
DIM	DIMENSION	MECH	MECHANICAL	THK	THICK
		MEMB	MEMBRANE		
DN	DOWN			THR	THRESHOLD
DR	DOOR	MEP	MECHANICAL, ELECTRICAL, PLUMBING	TJI	TRUSS JOIST I-JOIST
DS	DOWN SPOUT	MFR	MANUFACTURER	TO	TOP OF
DTL	DETAIL	MIN	MINIMUM	TOS	TOP OF SLAB
DW	DISHWASHER	MISC	MISCELLANEOUS	TOW	TOP OF WALL
		MO	MASONRY OPENING		
DWG	DRAWING				TRANSFORMER
(E)	EXISTING	MTD	MOUNTED	TV	TELEVISION
E	EAST	MTL	METAL	TYP	TYPICAL
EA	EACH	N	NORTH	UFAS	UNIFORM FEDERAL ACCESSIBILITY
EJ	EXPANSION JOINT	NIC	NOT IN CONTRACT	- · · -	STANDARDS
		NO	NUMBER	UG	UNDERGROUND
EL, ELEV	ELEVATION	NOM	NOMINAL		UNFINISHED
ELEC	ELECTRIC	NTS	NOT TO SCALE	UNO	ULNESS NOTED OTHERWISE
ENCL	ENCLOSURE	O.P.	OVERFLOW PIPE	UV	UTRAVIOLET
EQ	EQUAL	OC	ON CENTER	VCT	VINYL COMPOSITION TILE
EQUIP	EQUIPMENT	OD	OVERFLOW DRAIN	VERT	VERTICAL
EXH	EXHAUST	OFF	OFFICE	VIF	VERIFY IN FIELD
			OPPOSITE HAND		
EXP	EXPANSION	OH		VTR	VENT TERMINATION PIPE
EXT	EXTERIOR	OPG	OPENING	VWC	VINYL WALL COVERING
FACP	FIRE ALARM CONTROL PANEL	OPP	OPPOSITE	W	WEST
FAU	FORCED AIR UNIT	(P)	PROPOSED	W/	WITH
FAWP	FLUID APPLIED WATERPROOFING	PERM	PERIMETER	W/D	WASHER DRYER
FD	FLOOR DRAIN	PERP	PERPENDICULAR	W/O	WITHOUT
FDC	FIRE DEPARTMENT CONNECTION	PG	PAINT GRADE	WC	WATERCLOSET
FE	FIRE EXTINGUISHER	PL	PLATE, PROPERTY LINE	WD	WOOD
FEC	FIRE EXTINGUISHER CABINET	PLAM	PLASTIC LAMINATE	WDW	WINDOW
FF	FINISHED FLOOR ELEVATION	PLBG	PLUMBING	WH	WATER HEATER
FG	FINISHED GRADE	PLYWD	PLYWOOD	WI	WROUGHT IRON
FH	FIRE HYDRANT	PNL	PANEL	WIN	WINDOW
FHC	FIRE HOSE CABINET	PP	POWER POLE	WP	WATERPROOF(ING)
					` ,
FIN	FINISH	PR	PAIR	WR	WEATHER RESISTIVE
FIXT	FIXTURE	PRTN	PARTITION	WRB	WATER RESISTIVE BARRIER
FIR	FLOOR	PSF	POLINDS PER SOLIARE FOOT	WSCT	WAINSCOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

PARALLEL STRAND LUMBER

PRESSURE TREATED

PHOTO VOLTAIC

POLYVINYL CHLORIDE

PAINTED

PTD

PVC

PV

SITE ACCESSIBILITY

FOIC FURNISHED BY OWNER INSTALLED BY

FLR FLOOR

FO

FOF

FLUOR FLOURESCENT

FACE OF

FOC FACE OF CONCRETE

FACE OF FINISH

CONTRACTOR

FND FOUNDATION

ACCESSIBLE PATH OF TRAVEL THE ACCESSIBLE ROUTES OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES, SURFACE IS STABLE AND SLIP RESISTANT. THIS PATH SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN AND PROTRUDING OBJECTS

THAN 80", PER **2022 CBC 11B-402** ACCESSIBLE ROUTES SHALL BE PROVIDED WHERE REQUIRED BY 2022 CBC **SECTION 11B-206.2**. EXISTING BUILDINGS AND FACILITIES SALLY COMPLY WITH 2022 CBC 11B-202.

GREATER THAN A 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS

- SITE ARRIVAL POINTS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER DROP-OFF AND LOADING ZONES; PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE (2022 CBC 11B-206.2.1)
- WITHIN A SITE. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE EXCEPT AS NOTED PER **2022 CBC 11B-206.2.2**
- FLOOR AND GROUND SURFACES: FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT PER 2022 CBC 11B-302.1. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2 INCH DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL, PER CBC 2022 11B-302.3
- GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. 2022 CBC 11B-303, 11B-303.2 & 11B-303.3 PROTRUDING OBJECTS: PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH CBC 11B-307. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" AFF OR GROUND SHALL PROTRUDE 4"

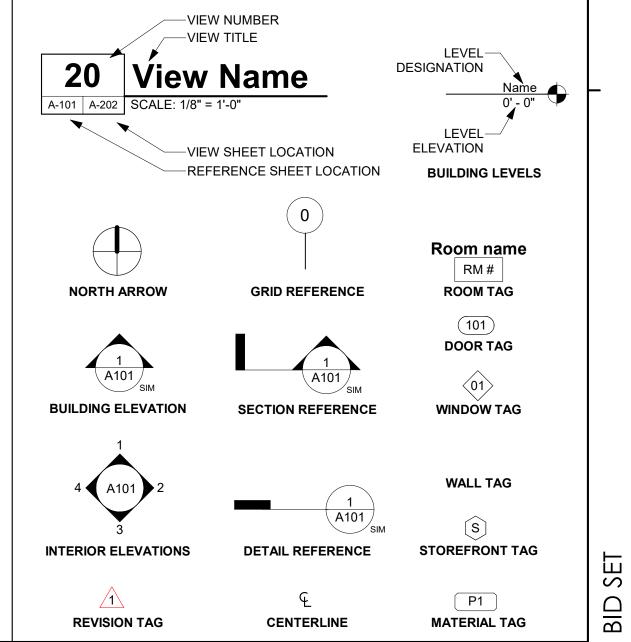
MAXIMUM INTO THE CIRCULATION PATH. HANDRAILS SHALL BE PERMITTED

CHANGES IN LEVELS: VERTICAL CHANGES IN LEVEL FOR FLOOR OR

8. FREE STANDING OBJECTS MOUNTED ON POSTS SHALL OVERHANG CIRCULATION PATHS 12" MAX WHEN LOCATED 27" MIN AND 80" MAX AFF. WHERE A SIGN OR OBSTRUCTION IS MOUNTED BTWN POSTS AND THE CLEAR DISTANCE BTWN POSTS IS GREATER THAN 12", THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27" MAX OR 80" MIN AFF. 2022 CBC 11B-307.3

TO PROTRUDE 4 1/2" MAXIMUM. **2022 CBC 11B-307.2**

SYMBOLS



WSCT

WT

WWF

YD

WAINSCOT

WELDED WIRE FABRIC

WEIGHT

ER Z \sim S

55

RRM DESIGN GROUP COPYRIGHT 2024

RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

NO. REVISION DATE **PROJECT MANAGER** DRAWN BY CHECKED BY SD, DDA, AK DATE 09/27/2024

PROJECT NUMBER

SHEET

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (JANUARY 2023)

CHAPTER 1 - ADMINISTRATION

SECTION 101 GENERAL

THESE REGULATIONS SHALL BE KNOWN AS THE CALIFORNIA GREEN BUILDING STANDARDS CODE AND MAY BE CITED AS SUCH AND WILL BE REFERRED TO HEREIN AS "THIS CODE." IT IS INTENDED THAT IT SHALL ALSO BE KNOWN AS THE CALGREEN CODE. THE CALIFORNIA GREEN BUILDING STANDARDS CODE IS PART 11 OF THIRTEEN PARTS OF THE OFFICIAL COMPILATION AND PUBLICATION OF THE ADOPTION, AMENDMENT AND REPEAL OF BUILDING REGULATIONS TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, ALSO REFERRED TO AS THE CALIFORNIA BUILDING STANDARDS CODE.

THE PURPOSE OF THIS CODE IS TO IMPROVE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE BY ENHANCING THE DESIGN AND CONSTRUCTION OF BUILDINGS THROUGH THE USE OF BUILDING CONCEPTS HAVING A REDUCED NEGATIVE IMPACT OR POSITIVE ENVIRONMENTAL IMPACT AND ENCOURAGING SUSTAINABLE CONSTRUCTION PRACTICES IN THE **FOLLOWING CATEGORIES:**

- 1. PLANNING AND DESIGN. ENERGY EFFICIENCY.
- 3. WATER EFFICIENCY AND CONSERVATION.
- 4. MATERIAL CONSERVATION AND RESOURCE EFFICIENCY. ENVIRONMENTAL QUALITY.

THE PROVISIONS OF THIS CODE SHALL APPLY TO THE PLANNING, DESIGN, OPERATION, CONSTRUCTION, USE AND OCCUPANCY OF EVERY NEWLY CONSTRUCTED BUILDING OR STRUCTURE, UNLESS OTHERWISE INDICATED IN THIS CODE. THROUGHOUT THE STATE OF CALIFORNIA. IT IS NOT THE INTENT THAT THIS CODE SUBSTITUTE OR BE IDENTIFIED AS MEETING THE CERTIFICATION REQUIREMENTS OF ANY GREEN BUILDING

SECTION 102 CONSTRUCTION DOCUMENTS AND INSTALLATION VERIFICATION

102.1 SUBMITTAL DOCUMENTS.

CONSTRUCTION DOCUMENTS AND OTHER DATA SHALL BE SUBMITTED IN ONE OR MORE SETS WITH EACH APPLICATION FOR A PERMIT. WHERE SPECIAL CONDITIONS EXIST. THE ENFORCING AGENCY IS AUTHORIZED TO REQUIRE ADDITIONAL CONSTRUCTION DOCUMENTS TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL AND MAY BE SUBMITTED SEPARATELY.

EXCEPTION: THE ENFORCING AGENCY IS AUTHORIZED TO WAIVE THE SUBMISSION OF CONSTRUCTION DOCUMENTS AND OTHER DATA NOT REQUIRED TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL.

102.2 INFORMATION ON CONSTRUCTION DOCUMENTS.

CONSTRUCTION DOCUMENTS SHALL BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION. NATURE AND SCOPE OF THE PROPOSED GREEN BUILDING FEATURE AND SHOW THAT IT WILL CONFORM TO THE PROVISIONS OF THIS CODE, THE CALIFORNIA BUILDING STANDARDS CODE AND OTHER RELEVANT LAWS, ORDINANCES, RULES AND REGULATIONS AS DETERMINED BY THE ENFORCING AGENCY.

DOCUMENTATION OF CONFORMANCE FOR APPLICABLE GREEN BUILDING MEASURES SHALL BE PROVIDED TO THE ENFORCING AGENCY. ALTERNATE METHODS OF DOCUMENTATION SHALL BE ACCEPTABLE WHEN THE ENFORCING AGENCY FINDS THAT THE PROPOSED ALTERNATE DOCUMENTATION IS SATISFACTORY TO DEMONSTRATE SUBSTANTIAL CONFORMANCE WITH THE INTENT OF THE PROPOSED GREEN BUILDING

CHAPTER 3 - GREEN BUILDING

BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING

SECTION 301 GENERAL

MEASURES SPECIFIED AS MANDATORY IN THE APPLICATION CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE. BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY. COUNTY. OR CITY AND COUNTY AS SPECIFIED IN **SECTION 101.7**.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS [BSC-CG] THE PROVISIONS OF INDIVIDUAL SECTIONS OF CHAPTER 5 APPLY TO NEWLY CONSTRUCTED BUILDINGS. BUILDING ADDITIONS OF 1.000 SQUARE FEET OR GREATER, AND/OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF \$200,000 OR ABOVE (FOR OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION). CODE SECTIONS RELEVANT TO ADDITIONS AND ALTERATIONS SHALL ONLY APPLY TO THE PORTIONS OF THE BUILDING BEING ADDED OR ALTERED WITHIN THE SCOPE OF THE PERMITTED WORK.

A CODE SECTION WILL BE DESIGNATED BY A BANNER TO INDICATE WHERE THE CODE SECTION ONLY APPLIES TO NEWLY CONSTRUCTED BUILDINGS [N] OR TO ADDITIONS AND/OR ALTERATIONS [A]. WHEN THE CODE SECTION APPLIES TO BOTH, NO BANNER WILL BE USED.

301.3.1 NONRESIDENTIAL ADDITIONS AND ALTERATIONS THAT CAUSE **UPDATES TO PLUMBING FIXTURES ONLY:**

NOTE: ON AND AFTER JANUARY 1, 2014, CERTAIN COMMERCIAL REAL PROPERTY, AS DEFINED IN CIVIL CODE SECTION 1101.3, SHALL HAVE ITS NONCOMPLIANT PLUMBING FIXTURES REPLACED WITH APPROPRIATE WATER-CONSERVING PLUMBING FIXTURES UNDER SPECIFIC CIRCUMSTANCES. SEE CIVIL CODE SECTION 1101.1 ET SEQ. FOR DEFINITIONS, TYPES OF COMMERCIAL REAL PROPERTY AFFECTED, EFFECTIVE DATES, CIRCUMSTANCES NECESSITATING REPLACEMENT OF NONCOMPLIANT PLUMBING FIXTURES, AND DUTIES AND RESPONSIBILITIES FOR ENSURING COMPLIANCE.

301.3.2 WASTE DIVERSION

THE REQUIREMENTS OF **SECTION 5.408** SHALL BE REQUIRED FOR ADDITIONS AND ALTERATIONS WHENEVER A PERMIT IS REQUIRED FOR

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES (SEE GBSC)

301.5 HEALTH FACILITIES (SEE GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS.

IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

SECTION 303 PHASED PROJECTS

FOR SHELL BUILDINGS AND OTHERS CONSTRUCTED FOR FUTURE TENANT IMPROVEMENTS, ONLY THOSE CODE MEASURES RELEVANT TO THE BUILDING COMPONENTS AND SYSTEMS CONSIDERED TO BE NEW CONSTRUCTION (OR NEWLY CONSTRUCTED) SHALL APPLY.

303.1.1 INITIAL TENANT IMPROVEMENTS

THE PROVISIONS OF THIS CODE SHALL APPLY ONNLY TO THE INITIAL TENANT IMPROVEMENTS TO A PROJECT. SUBSEQUENT TENANT IMPROVEMENTS SHALL COMPLY WITH THE SCOPING PROVISIONS IN **SECTION 301.3** NON-RESIDENTIAL ADDITIONS AND ALTERATIONS.

CHAPTER 5 - NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN 5.106 SITE DEVELOPMENT

5.106.1 STORMWATER POLLUTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND

NEWLY CONSTRUCTED PROJECTS AND ADDITIONS WHICH DISTURB LESS THAN ONE ACRE OF LAND AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE SHALL PREVENT THE POLLUTION OF STORMWATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES THROUGH ONE OR MORE OF THE FOLLOWING MEASURES:

5.106.1.1 LOCAL ORDINANCE

COMPLY WITH A LAWFULLY ENACTED STORMWATER MANAGEMENT AND/OR EROSION CONTROL ORDINANCE.

5.106.1.2 BEST MANAGEMENT PRACTICES (BMP'S) PREVENT THE LOSS OF SOIL THROUGH WIND OR WATER EROSION BY IMPLEMENTING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT

CONTROL AND GOOD HOUSEKEEPING BMP'S. . SOIL LOSS BMP'S THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION

- AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO. THE FOLLOWING: a. SCHEDULING CONSTRUCTION ACTIVITY DURING DRY WEATHER,
- WHEN POSSIBLE. b. PRESERVATION OF NATURAL FEATURES, VEGETATION, SOIL AND
- BUFFERS AROUND SURFACE WATERS. c. DRAINAGE SWALES OR LINED DITCHES TO CONTROL STORMWATER FLOW.
- d. MULCHING OR HYDROSEEDING TO STABILIZE DISTURBED SOILS. e. EROSION CONTROL TO PROTECT SLOPES.
- PROTECTION OF STORM DRAIN INLETS (GRAVEL BAGS OR CATCH BASIN INSERTS).
- g. PERIMETER SEDIMENT CONTROL (PERIMETER SILT FENCE, FIBER
- h. SEDIMENT TRAP OR SEDIMENT BASIN TO RETAIN SEDIMENT ON
- STABILIZED CONSTRUCTION EXITS. WIND EROSION CONTROL.
- OTHER SOIL LOSS BMP'S ACCEPTABLE TO THE ENFORCING
- 2. GOOD HOUSEKEEPING BMP'S TO MANAGE CONSTRUCTION EQUIPMENT. MATERIALS, NON-STORMWATER DISCHARGES, AND WASTES THAT EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEWATERING ACTIVITIES. b. MATERIAL HANDLING AND WASTE MANAGEMENT.
 - c. BUILDING MATERIALS STOCKPILE MANAGEMENT. d. MANAGEMENT OF WASHOUT AREAS (CONCRETE, PAINTS,
 - STUCCO, ETC.). e. CONTROL OF VEHICLE/EQUIPMENT FUELING TO CONTRACTOR'S
 - STAGING AREA. VEHICLE AND EQUIPMENT CLEANING PERFORMED OFF SITE.
 - SPILL PREVENTION AND CONTROL. OTHER HOUSEKEEPING BMP'S ACCEPTABLE TO THE ENFORCING

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND

COMPLY WITH ALL LAWFULLY ENACTED STORMWATER DISCHARGE REGULATIONS FOR PROJECTS THAT (1) DISTURB ONE ACRE OR MORE OF LAND, OR (2) DISTURB LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE.

NOTE: PROJECTS THAT (1) DISTURB ONE ACRE OR MORE OF LAND, OR (2) DISTURB LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE MUST COMPLY WITH THE POSTCONSTRUCTION REQUIREMENTS DETAILED IN THE APPLICABLE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES ISSUED BY THE STATE WATER RESOURCES CONTROL BOARD OR THE LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD (FOR PROJECTS IN THE LAKE TAHOE HYDROLOGIC UNIT).

THE NPDES PERMITS REQUIRE POSTCONSTRUCTION RUNOFF (POSTPROJECT HYDROLOGY) TO MATCH THE PRECONSTRUCTION RUNOFF (PRE-PROJECT HYDROLOGY) WITH THE INSTALLATION OF POSTCONSTRUCTION STORMWATER MANAGEMENT MEASURES. THE NPDES PERMITS EMPHASIZE RUNOFF REDUCTION THROUGH ON-SITE STORMWATER USE, INTERCEPTION, EVAPOTRANSPIRATION AND INFILTRATION THROUGH NONSTRUCTURAL CONTROLS, SUCH AS LOW IMPACT DEVELOPMENT (LID) PRACTICES AND CONSERVATION DESIGN MEASURES. STORMWATER VOLUME THAT CANNOT BE ADDRESSED USING NONSTRUCTURAL PRACTICES IS REQUIRED TO BE CAPTURED IN STRUCTURAL PRACTICES AND BE APPROVED BY THE ENFORCING AGENCY.

REFER TO THE CURRENT APPLICABLE PERMITS ON THE STATE WATER RESOURCES CONTROL BOARD WEBSITE AT: WWW.WATERBOARDS.CA.GOV/CONSTRUCTIONSTORMWATER. CONSIDERATION TO THE STORMWATER RUNOFF MANAGEMENT MEASURES SHOULD BE GIVEN DURING THE INITIAL DESIGN PROCESS FOR APPROPRIATE INTEGRATION INTO SITE DEVELOPMENT.

5.106.8 LIGHT POLLUTION REDUCTION INI.

SECTION 101.7, WHICHEVER IS MORE STRINGENT.

OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY

- 1. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 0-4 AS DEFINED IN **CHAPTER 10, SECTION 10-114** OF
- THE CALIFORNIA ADMINISTRATIVE CODE; AND 2. BACKLIGHT (B) RATINGS AS DEFINED IN IES TM-15-11 (SHOWN IN TABLE
- A-1 IN CHAPTER 8): 3. UPLIGHT AND GLARE RATINGS AS DEFINED IN CALIFORNIA ENERGY
- CODE (SHOWN IN TABLES 130.2-A AND 130.2-B IN CHAPTER 8) AND 4. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE
- OR COMPLY WITH A LOCAL ORDINANCE LAWFULLY ENACTED PURSUANT TO

1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN SECTION 130.2(B) AND

- 140.7 OF THE CALIFORNIA ENERGY CODE EMERGENCY LIGHTING.
- BUILDING FACADE MEETING THE REQUIREMENTS IN TABLE 140.7-B OF
- THE CALIFORNIA ENERGY CODE, PART 6. 4. CUSTOM LIGHTING FEATURES AS ALLOWED BY THE LOCAL ENFORCING AGENCY, AS PERMITTED BY **SECTION 101.8** ALTERNATE MATERIALS,
- DESIGNS AND METHODS OF CONSTRUCTION. 5. LUMINAIRES WITH LESS THAN 6,200 INITIAL LUMINAIRE LUMENS.

TABLE 5.106.8 [N]

- 1. SEE ALSO CALIFORNIA BUILDING CODE. CHAPTER 12. SECTION 1205.7 FOR COLLEGE CAMPUS LIGHTING REQUIREMENTS FOR PARKING FACILITIES AND WALKWAYS.
- 2. REFER TO **CHAPTER 8** (COMPLIANCE FORMS, WORKSHEETS AND REFERENCE MATERIAL) FOR IES TM-15-11 **TABLE A1**, CALIFORNIA ENERGY CODE TABLES 130.2-A AND 130.2-B.
- REFER TO THE CALIFORNIA ENERGY CODE FOR REQUIREMENTS FOR ADDITIONS AND ALTERATIONS.

ALLOWABLE RATING	LIGHTING ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4
MAXIMUM ALLOWABLE BACKLIGHT RATING ³ (B)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT
LUMINAIRE BACK HEMISPHERE IS 1-2 MH FROM PROPERTY LINE	N/A	B2	В3	B4	B4
LUMINAIRE BACK HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	B1	B2	ВЗ	В3
LUMINAIRE BACK HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	В0	ВО	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
FOR AREA LIGHTING ³	N/A	U0	U0	U0	U0
FOR ALL OTHER OUTDOOR LIGHTING, INCLUDING DECORATIVE LUMINAIRES	N/A	U1	U2	U3	U4
MAXIMUM ALLOWABLE GLARE RATING (G)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	G1	G2	G3	G4
LUMINAIRE FRONT HEMISPHERE IS 1-2 MH FROM PROPERTY LINE	N/A	G0	G1	G1	G2
LUMINAIRE FRONT HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	G0	G0	G1	G1
LUMINAIRE FRONT HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	G0	G0	G0	G1

¹ IESNA LIGHTING ZONES 0 ARE NOT APPLICABLE; REFER TO LIGHTING ZONES AS DEFINED IN THE CALIFORNIA ENERGY CODE AND CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE.

² FOR PROPERTY LINES THAT ABUT PUBLIC WALKWAYS, BIKEWAYS, PLAZAS AND PARKING LOTS. THE PROPERTY LINE MAY BE CONSIDERED TO BE 5 FEET BEYOND THE ACTUAL PROPERTY LINE FOR PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION. FOR PROPERTY LINES THAT ABUT PUBLIC ROADWAYS AND PUBLIC TRANSIT CORRIDORS, THE

PROPERTY LINE MAY BE CONSIDERED TO BE THE CENTERLINE OF THE PUBLIC ROADWAY OR PUBLIC TRANSIT CORRIDOR FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION.

³ GENERAL LIGHTING LUMINAIRES IN AREAS SUCH AS OUTDOOR PARKING. SALES OR STORAGE LOTS SHALL MEET THESE REDUCED RATINGS. DECORATIVE LUMINAIRES LOCATED IN THESE AREAS SHALL MEET U-VALUE LIMITS FOR "ALL OTHER OUTDOOR LIGHTING."

5.106.8.1 FACING - BACKLIGHT

LUMINAIRES WITHIN 2MH OF A PROPERTY LINE SHALL BE ORIENTED SO THAT THE NEAREST PROPERTY LINE IS BEHIND THE FIXTURE, AND SHALL COMPLY WITH THE BACKLIGHT RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT OF THAT PROPERTY

EXCEPTION: CORNERS. IF TWO PROPERTY LINES (OR TWO SEGMENTS OF THE SAME PROPERTY LINE) HAVE EQUIDISTANT POINTS TO THE LUMINAIRE, THEN THE LUMINAIRE MAY BE ORIENTED SO THAT THE INTERSECTION OF THE TWO LINES (THE CORNER) IS DIRECTLY BEHIND THE LUMINAIRE. THE LUMINAIRE SHALL STILL USE THE DISTANCE TO THE NEAREST POINT(S) ON THE PROPERTY LINES TO DETERMINE THE REQUIRED BACKLIGHT RATING.

5.106.8.2 FACING - GLARE

FOR LUMINAIRES COVERED BY 5.106.8.1, IF A PROPERTY LINE ALSO EXISTS WITHIN OR EXTENDS INTO THE FRONT HEMISPHERE WITHIN 2MH OF THE LUMINAIRE THEN THE LUMINAIRE SHALL COMPLY WITH THE MORE STRINGENT GLARE RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT ON THE NEAREST PROPERTY LINE WITHIN THE FRONT HEMISPHERE

5.106.10 GRADING AND PAVING

CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE. BUT ARE NOT LIMITED TO. THE FOLLOWING:

- 2. WATER COLLECTION AND DISPOSAL SYSTEMS.
- FRENCH DRAINS.
- WATER RETENTION GARDENS. 5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE

5.106.12 SHADE TREES [DSA-SS] SHADE TREES SHALL BE PLANTED TO COMPLY WITH SECTIONS **5.106.12.1**, **5.106.12.2**, AND **5.106.12.3**. PERCENTAGES SHOWN SHALL BE MEASURED AT NOON ON THE SUMMER SOLSTICE. LANDSCAPE IRRIGATION NECESSARY TO ESTABLISH AND MAINTAIN TREE HEALTH SHALL COMPLY WITH **SECTION 5.304.6.**

5.106.12.1 SURFACE PARKING AREAS

SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL, SHALL BE INSTALLED TO PROVIDE SHADE OVER 50 PERCENT OF THE PARKING AREA WITHIN 15 YEARS.

EXCEPTIONS: THE SURFACE PARKING AREA COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES, OR SHADE STRUCTURES, WITH ROOFING MATERIALS THAT COMPLY WITH *TABLE A5.106.11.2.2* IN APPENDIX A5, SHALL BE PERMITTED IN WHOLE OR IN PART IN LIEU OF SHADE TREE PLANTINGS.

5.106.12.2 LANDSCAPE AREAS

SHADE TRESS PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OF 20% OF THE LANDSCAPE AREA

EXCEPTIONS: PLAYFIELDS FOR ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.

5.106.12.3. HARDSCAPE AREAS.

SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OVER 20% OF THE HARDSCAPE AREA

EXCEPTIONS: WALKS, HARDSCAPE AREAS COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES. AND HARDSCAPE AREAS COVERED BY SHADE STRUCTURES WITH ROOFING MATERIALS THAT COMPLY WITH *TABLE A5.106.11.2.2* IN APPENDIX A5, SHALL BE PERMITTED IN WHOLE OR IN PART IN LIEU OF SHADE TREE PLANTINGS. DESIGNATED AND MARKED PLAY AREAS OF ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION...

DIVISION 5.2 ENERGY EFFICIENCY

5.201 GENERAL

5.201.1 SCOPE. CALIFORNIA ENERGY CODE FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY BUILDING STANDARDS.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

5.301 GENERAL

THE PROVISIONS OF THIS CHAPTER SHALL ESTABLISH THE MEANS OF CONSERVING WATER USED INDOORS, OUTDOORS AND IN WASTEWATER

5.303 INDOOR WATER USE

SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR THE USES DESCRIBED IN SECTIONS 5.303.1.1 AND 5.303.1.2.

5.303.1.1 NEW BUILDINGS OR ADDITIONS IN EXCESS OF 50,000 SQUARE FEET SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS:

- 1. FOR EACH INDIVIDUAL LEASED, RENTED, OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100 GAL/DAY (380 L/DAY), INCLUDING, BUT NOT LIMITED TO, SPACES USED FOR LAUNDRY OR CLEANERS. RESTAURANT OR FOOD SERVICE, MEDICAL OR DENTAL OFFICE, LABORATORY, OR BEAUTY SALON OR BARBER SHOP.
- 2. WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE. FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS:
- a. MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM (30 L/S).
- b. MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM (0.04 L/S). c. STEAM AND HOT-WATER BOILERS WITH ENERGY INPUT MORE

THAN 500,000 BTU/H (147 KW).

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

55 0

5

 \sim

S

NO. REVISION

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK DATE

SHEET

 \Box

09/27/2024

PROJECT NUMBER

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (JANUARY 2023)

5.303.1.2 EXCESS CONSUMPTION

A SEPARATE SUBMETER OR METERING DEVICE SHALL BE PROVIDED FOR ANY TENANT WITHIN A NEW BUILDING OR WITHIN AN ADDITION THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GAL/DAY.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS

AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

5.303.3.1 WATER CLOSETS

THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

5.303.3.2 URINALS

5.303.3.2.1 WALL-MOUNTED URINALS THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH.

5.303.3.2.2 FLOOR-MOUNTED URINALS

THE EFFECTIVE FLUSH VOLUME OF FLOOR-MOUNTED OR OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

5.303.3.4 FAUCETS AND FOUNTAINS

5.303.3.4.1 NONRESIDENTIAL LAVATORY FAUCETS LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE

THAN 0.5 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.2 KITCHEN FAUCETS KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60

5.303.3.4.3 WASH FOUNTAINS

WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE/20 [RIM SPACE (INCHES) AT 60 PSI].

5.303.3.4.4 METERING FAUCETS METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS

5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS

METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER CYCLE/20 [RIM SPACE (INCHES) AT 60 PSI].

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

5.303.3.4.6 PRE-RINSE SPRAY VALVE

WHEN INSTALLED, SHALL MEET THE REQUIREMENTS IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY REGULATIONS), SECTION 1605.1(H)(4) TABLE H-2, SECTION 1605.3(H)(4)(A), AND SECTION 1607(D)(7), AND SHALL BE EQUIPPED WITH AN INTEGRAL AUTOMATIC SHUTOFF.

5.303.4 COMMERCIAL KITCHEN EQUIPMENT

5.303.4.1 FOOD WASTE DISPOSERS

DISPOSERS SHALL FITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE/NO-LOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8 GPM OF WATER.

NOTE: THIS CODE SECTION DOES NOT AFFECT LOCAL JURISDICTION AUTHORITY TO PROHIBIT OR REQUIRE DISPOSER INSTALLATION.

5.303.5 AREAS OF ADDITION OR ALTERATION

FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF THE CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN SECTION 103, THE PROVISIONS OF **SECTIONS 5.303.3** AND **5.303.4** SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS

PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF THIS CODE.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

5.401 GENERAL

5.401.1 SCOPE

THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF ACHIEVING MATERIAL CONSERVATION AND RESOURCE EFFICIENCY THROUGH PROTECTION OF BUILDINGS FROM EXTERIOR MOISTURE, CONSTRUCTION WASTE DIVERSION, EMPLOYMENT OF TECHNIQUES TO REDUCE POLLUTION THROUGH RECYCLING OF MATERIALS, AND BUILDING COMMISSIONING OR TESTING AND ADJUSTING.

5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT

5.407.1 WEATHER PROTECTION

PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CALIFORNIA BUILDING CODE SECTION 1402.2 (WEATHER PROTECTION). MANUFACTURER'S INSTALLATION INSTRUCTIONS OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.

5.407.2 MOISTURE CONTROL

EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS.

5.407.2.1 SPRINKLERS

DESIGN AND MAINTAIN LANDSCAPE IRRIGATION SYSTEMS TO PREVENT SPRAY ON STRUCTURES.

5.407.2.2 ENTRIES AND OPENINGS

DESIGN EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC OR WIND-DRIVEN RAIN TO PREVENT WATER INTRUSION INTO **BUILDINGS AS FOLLOWS:**

5.407.2.2.1 EXTERIOR DOOR PROTECTION

PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE FOLLOWING:

- 1. AN INSTALLED AWNING AT LEAST 4 FEET IN DEPTH. 2. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
- 3. THE DOOR IS RECESSED AT LEAST 4 FEET. 4. OTHER METHODS WHICH PROVIDE EQUIVALENT

5.407.2.2.2 FLASHING

INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 CONSTRUCTION WASTE MANAGEMENT

PROTECTION.

RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH **SECTION 5.408.1.1**, **5.408.1.2** OR **5.408.1.3**; OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN

- WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN
- 1. IDENTIFIES THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY EFFICIENT USAGE. RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- 2. DETERMINES IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- 3. IDENTIFIES DIVERSION FACILITIES WHERE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN. 4. SPECIFIES THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT

5.408.1.2 WASTE MANAGEMENT COMPANY

OR VOLUME, BUT NOT BY BOTH.}

UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION.

NOTE: THE OWNER OR CONTRACTOR SHALL MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.

EXCEPTIONS TO SECTIONS 5.408.1.1 AND 5.408.1.2:

- I. EXCAVATED SOIL AND LAND-CLEARING DEBRIS. 2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE
- FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST. 3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.

5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE

THE COMBINED WEIGHT OF NEW CONSTRUCTION DISPOSAL THAT DOES NOT EXCEED TWO POUNDS PER SQUARE FOOT OF BUILDING AREA MAY BE DEEMED TO MEET THE 65 PERCENT MINIMUM REQUIREMENT AS APPROVED BY THE ENFORCING AGENCY.

5.408.1.4 DOCUMENTATION

DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1 THROUGH 5.408.1.3. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

- 1. SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (NONRESIDENTIAL)" LOCATED AT https://www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-CommissionResources-List-Folder/CALGreen MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THE WASTE MANAGEMENT PLAN.
- 2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).

5.408.2 UNIVERSAL WASTE.

[A] ADDITIONS AND ALTERATIONS TO A BUILDING OR TENANT SPACE THAT MEET THE SCOPING PROVISIONS IN **SECTION 301.3** FOR NONRESIDENTIAL ADDITIONS AND ALTERATIONS, SHALL REQUIRE VERIFICATION THAT

UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BALLAST AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND ARE DIVERTED FROM LANDFILLS. A LIST OF PROHIBITED UNIVERSAL WASTE MATERIALS SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS.

NOTE: REFER TO THE UNIVERSAL WASTE RULE LINK AT: https://dtsc.ca.gov/universalwaste/

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS

100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

EXCEPTION: REUSE, EITHER ON-OR OFF-SITE, OF VEGETATION OR SOIL CONTAMINATED BY DISEASE OR PEST INFESTATION.

1. IF CONTAMINATION BY DISEASE OR PEST INFESTATION IS SUSPECTED, CONTACT THE COUNTY AGRICULTURAL COMMISSIONER AND FOLLOW ITS DIRECTION FOR RECYCLING OR DISPOSAL OF THE MATERIAL. (www.cdfa.ca.gov/exec/county/county contacts.html)

2. FOR A MAP OF KNOWN PEST AND/OR DISEASE QUARANTINE ZONES. CONSULT WITH THE CALIFORNIA DEPARTMENT OF FOOD AND AGRICULTURE. (www.cdfa.ca.gov)

5.410 BUILDING MAINTENANCE AND OPERATIONS

5.410.1 RECYCLING BY OCCUPANTS

PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

EXCEPTION: RURAL JURISDICTIONS THAT MEET AND APPLY FOR THE EXEMPTION IN PUBLIC RESOURCES CODE 42649.82 (A)(2)(A) ET SEQ. SHALL ALSO BE EXEMPT FROM THE ORGANIC WASTE PORTION OF THIS SECTION.

5.410.1.1 ADDITIONS

ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS, RESULTING IN AN INCREASE OF 30 PERCENT OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.

EXCEPTION:ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30-PERCENT INCREASE IN THE TENANT SPACE FLOOR AREA.

5.410.1.2 SAMPLE ORDINANCE

SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18. PART 3. DIVISION 30 OF THE PUBLIC RESOURCES CODE. CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).

NOTE: A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN APPENDIX A OF THE DOCUMENT AT THE CALRECYCLE'S

5.410.2 COMMISSIONING. [N] NEW BUILDINGS 10,000 SQ. FT. AND OVER FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESSES OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. FOR I-OCCUPANCIES THAT ARE NOT REGULATED BY OSHPD OR FOR I-OCCUPANCIES AND L-OCCUPANCIES THAT ARE NOT REGULATED BY THE CALIFORNIA ENERGY CODE SECTION 100.0 SCOPE, ALL REQUIREMENTS IN SECTIONS 5.410.2 THROUGH 5.410.2.6 SHALL APPLY.

NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (SECTION 100) OF THE CALIFORNIA ENERGY CODE, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEMS AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS, REFER TO CALIFORNIA ENERGY CODE **SECTION 120.8** FOR COMMISSIONING REQUIREMENTS.

COMMISSIONING REQUIREMENTS SHALL INCLUDE:

- 1. OWNER'S OR OWNER REPRESENTATIVE'S PROJECT
- REQUIREMENTS.
- BASIS OF DESIGN COMMISSIONING MEASURES SHOWN IN THE CONSTRUCTION
- DOCUMENTS.

7. COMMISSIONING REPORT.

- 4. COMMISSIONING PLAN
- . FUNCTIONAL PERFORMANCE TESTING. DOCUMENTATION AND TRAINING.

. UNCONDITIONED WAREHOUSES OF ANY SIZE.

PROVIDE HEATING AND OR AIR CONDITIONING.

- 2. AREAS LESS THAN 10,000 SQUARE FEET USED FOR OFFICES OR OTHER CONDITIONED ACCESSORY SPACES WITHIN UNCONDITIONED
- 3. TENANT IMPROVEMENTS LESS THAN 10,000 SQUARE FEET AS DESCRIBED IN **SECTION 303.1.1.** 4. OPEN PARKING GARAGES OF ANY SIZE. OR OPEN PARKING GARAGE
- AREAS, OF ANY SIZE, WITHIN A STRUCTURE. NOTE: FOR THE PURPOSES OF THIS SECTION. UNCONDITIONED SHALL MEAN A BUILDING, AREA, OR ROOM WHICH DOES NOT

INFORMATIONAL NOTES:

- 1. IAS AC 476 IS AN ACCREDITATION CRITERIA FOR ORGANIZATIONS PROVIDING TRAINING AND/OR CERTIFICATION OF COMMISSIONING PERSONNEL. AC 476 IS AVAILABLE TO THE AUTHORITY HAVING JURISDICTION AS A REFERENCE FOR QUALIFICATIONS OF COMMISSIONING PERSONNEL. AC 476 DOES NOT CERTIFY INDIVIDUALS TO CONDUCT FUNCTIONAL PERFORMANCE TESTS OR
- TO ADJUST AND BALANCE SYSTEMS. 2. FUNCTIONAL PERFORMANCE TESTING FOR HEATING, VENTILATION, AIR CONDITIONING SYSTEMS AND LIGHTING CONTROLS MUST BE PERFORMED IN COMPLIANCE WITH THE CALIFORNIA ENERGY CODE.

5.410.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT

REQUIREMENTS (OPR) [N] THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO ITS PHASE SHALL BE DOCUMENTED BEFORE THE DESIGN PHASE OF THE PROJECT BEGINS. THIS DOCUMENTATION SHALL INCLUDE THE FOLLOWING:

- ENVIRONMENTAL AND SUSTAINABILITY GOALS.
- 2. BUILDING SUSTAINABLE GOALS. INDOOR ENVIRONMENTAL QUALITY REQUIREMENTS. 4. PROJECT PROGRAM, INCLUDING FACILITY FUNCTIONS AND HOURS OF OPERATION, AND NEED FOR AFTER HOURS
- 5. EQUIPMENT AND SYSTEMS EXPECTATIONS.
- 6. BUILDING OCCUPANT AND OPERATION AND MAINTENANCE (O&M) PERSONNEL EXPECTATIONS.

5.410.2.2 BASIS OF DESIGN (BOD)

5.410.2.3 COMMISSIONING PLAN

[N] A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED AT THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER THE FOLLOWING SYSTEMS:

- RENEWABLE ENERGY SYSTEMS. 2. LANDSCAPE IRRIGATION SYSTEMS.
- 3. WATER REUSE SYSTEMS.

COMPLETED TO DOCUMENT HOW THE PROJECT WILL BE COMMISSIONED. THE COMMISSIONING PLAN SHALL INCLUDE THE FOLLOWING:

[N] PRIOR TO PERMIT ISSUANCE A COMMISSIONING PLAN SHALL BE

- GENERAL PROJECT INFORMATION.
- COMMISSIONING GOALS. 3. SYSTEMS TO BE COMMISSIONED. PLANS TO TEST SYSTEMS AND COMPONENTS SHALL INCLUDE:
- a. AN EXPLANATION OF THE ORIGINAL DESIGN INTENT. b. EQUIPMENT AND SYSTEMS TO BE TESTED, INCLUDING THE
- EXTENT OF TESTS. c. FUNCTIONS TO BE TESTED. d. CONDITIONS UNDER WHICH THE TEST SHALL BE
- PERFORMED e. MEASURABLE CRITERIA FOR ACCEPTABLE PERFORMANCE. . COMMISSIONING TEAM INFORMATION. COMMISSIONING PROCESS ACTIVITIES, SCHEDULES AND

RESPONSIBILITIES. PLANS FOR THE COMPLETION OF

COMMISSIONING SHALL BE INCLUDED. 5.410.2.4 FUNCTIONAL PERFORMANCE TESTING [N] FUNCTIONAL PERFORMANCE TESTS SHALL DEMONSTRATE THE

CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM- TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND

5.410.2.5 DOCUMENTATION AND TRAINING [N] A SYSTEMS MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED, INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS (CCR),

5.410.2.5.1 SYSTEMS MANUAL [N]

TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

DOCUMENTATION OF THE OPERATIONAL ASPECTS OF THE BUILDING SHALL BE COMPLETED WITHIN THE SYSTEMS MANUAL AND DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE. THE SYSTEMS MANUAL SHALL INCLUDE THE FOLLOWING:

- 1. SITE INFORMATION, INCLUDING FACILITY DESCRIPTION, HISTORY
- AND CURRENT REQUIREMENTS. SITE CONTACT INFORMATION.
- 3. BASIC OPERATIONS AND MAINTENANCE, INCLUDING GENERAL SITE OPERATING PROCEDURES, BASIC TROUBLESHOOTING. RECOMMENDED MAINTENANCE REQUIREMENTS, SITE EVENTS
- MAJOR SYSTEMS.

ADJUSTMENTS MADE.

- 5. SITE EQUIPMENT INVENTORY AND MAINTENANCE NOTES. 6. A COPY OF VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
- 7. OTHER RESOURCES AND DOCUMENTATION, IF APPLICABLE. 5.410.2.5.2 SYSTEMS OPERATIONS TRAINING [N] A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE
- STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND DOCUMENTED IN THE COMMISSIONING REPORT AND SHALL INCLUDE THE FOLLOWING:
- 1. SYSTEM/EQUIPMENT OVERVIEW (WHAT IT IS, WHAT IT DOES AND WITH WHAT OTHER SYSTEMS AND/OR EQUIPMENT IT INTERFACES).
- 2. REVIEW AND DEMONSTRATION OF SERVICING/PREVENTIVE MAINTENANCE. 3. REVIEW OF THE INFORMATION IN THE SYSTEMS MANUAL.

4. REVIEW OF THE RECORD DRAWINGS ON THE SYSTEM/

5.410.2.6 COMMISSIONING REPORT [N] A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.

5.410.4 TESTING AND ADJUSTING. NEW BUILDINGS LESS THAN 10,000

TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR NEW BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO **SECTION 303.1**.

5.410.4.1 (RESERVED)

NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (SECTION 100) OF THE CALIFORNIA ENERGY CODE, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEM AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS. REFER TO CALIFORNIA ENERGY CODE SECTION 120.8 FOR COMMISSIONING REQUIREMENTS AND SECTIONS 120.5, 120.6, 130.4 AND 140.9(B)3 FOR ADDITIONAL TESTING

REQUIREMENTS OF SPECIFIC SYSTEMS.

5.410.4.3 PROCEDURES

ON EACH SYSTEM.

5.410.4.2 SYSTEMS DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND

- ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT:
- RENEWABLE ENERGY SYSTEMS. 2. LANDSCAPE IRRIGATION SYSTEMS. 3. WATER REUSE SYSTEMS.

PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS

5.410.4.3.1 HVAC BALANCING IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS; THE

NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL

STANDARDS: ASSOCIATED AIR BALANCE COUNCIL NATIONAL

STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.

AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.

PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF

5.410.4.5 OPERATION AND MAINTENANCE (O & M) MANUAL

BE ALLOWED.

GUARANTIES/WARRANTIES FOR EACH SYSTEM. O & M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

5.410.4.5.1 INSPECTIONS AND REPORTS INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.

5.501 GENERAL

THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUANTITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING. AND/OR HARMFUL TO THE COMFORT AND WELL-BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND NEIGHBORS.

DIVISION 5.5 ENVIRONMENTAL QUALITY

5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL **EQUIPMENT DURING CONSTRUCTION**

AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC. SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH

5.504.4.1 ADHESIVES, SEALANTS AND CAULKS ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS:

- 1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN *TABLES 5.504.4.1* AND *5.504.4.2*. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR
- AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES. AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT^{1,2} (LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER)

17. COMMENCING WITH SECTION 94507.

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOORING ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT AND ASPHALT TILE ADHESIVES	50
DRYWALL AND PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP AND TRIM ADHESIVES	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168. HTTP://WWW.ARB.CA.GOV/DRDB/SC/CURHTML/R1168.PDF

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

55

(7) 5 7 S

NO. REVISION

CHECKED BY

09/27/2024 **PROJECT NUMBER**

PROJECT MANAGER

DRAWN BY

SD, DDA, AK

SHEET

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (JANUARY 2023)

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 PAINTS AND COATINGS

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN *TABLE 5.504.4.3*, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN *Table 5.504.4.3* Shall apply.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2, 3} (GRAMS OF VOC PER LITER OF COATING, LESS WATER AND LESS EXEMPT COMPOUNDS)

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
IDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS AND UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

- 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER AND INCLUDING EXEMPT COMPOUNDS.
- 2. THE SPECIFIED LIMITS REMAIN IN EFFECT ENLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE
- 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEBUARY 1, 2008, MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.3.1 AEROSOL PAINTS AND COATINGS

AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMIR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS. INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

5.504.4.3.2 **VERIFICATION**

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. MANUFACTURER'S PRODUCT SPECIFICATION 2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS 5.504.4.4 CARPET SYSTEMS

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS FOR THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.asp

5.504.4.4.1 CARPET CUSHION

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350).

SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC .aspx#material

5.504.4.4.2 CARPET ADHESIVE

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE

5.504.4.5 COMPOSITE WOOD PRODUCTS

HARDWOOD PLYWOOD. PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.) THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS. AS SHOWN IN TABLE 5.504.4.5.

5.504.4.5.3 DOCUMENTATION

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

- . PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
- CHAIN OF CUSTODY CERTIFICATIONS. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION
- 4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION. THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 636 3S

STANDARDS. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS¹

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLEBOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ²	0.13

- 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
- 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCH (8MM).

5.504.4.6 RESILIENT FLOOR SYSTEMS

WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH. "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.asp

5.504.4.6.1 VERIFICATION OF COMPLIANCE

DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

5.504.5.3 FILTERS

IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

EXCEPTION: EXISTING MECHANICAL EQUIPMENT.

5.504.5.3.1 LABELING

INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS; OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1202 (VENTILATION) AND CHAPTER 14 (EXTERIOR WALLS). FOR ADDITIONAL MEASURES, SEE **SECTION 5.407.2** OF THIS CODE.

5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY

FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF **SECTION 120.1** (REQUIREMENTS FOR VENTILATION) OF THE CALIFORNIA ENERGY CODE. OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

5.506.2 CARBON DIOXIDE (CO2) MONITORING

FOR BUILDINGS OR ADDITIONS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SECTION 120(C)(4).

5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E90 AND ASTM E413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E1332. USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN **SECTION** 5.507.4.1 OR 5.507.4.2.

EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH AS FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.

EXCEPTION: [DSA-SS] FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, THE REQUIREMENTS OF THIS SECTION AND ALL SUBSECTIONS APPLY ONLY TO NEW CONSTRUCTION.

5.507.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IN THE FOLLOWING LOCATIONS:

1. WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT.

- 1. L_{DN} OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION
- COMPATIBLE LAND USE ZONE (AICUZ) PLAN. 2. L_{DN} OR CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT
- 2. WITHIN THE 65 CNEL OR LDN NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN.

5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE

BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB LEO-1-HR DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING, ADDITION OR ALTERATION EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

5.507.4.2 PERFORMANCE METHOD

FOR BUILDINGS LOCATED AS DEFINED IN **SECTION 5.507.4.1** OR 5.507.4.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (L_{EQ}-1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

5.507.4.2.1 SITE FEATURES

EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE BUILDING. ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE

5.507.4.2.2 DOCUMENTATION OF COMPLIANCE AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY

5.507.4.3 INTERIOR SOUND TRANSMISSION

THE ARCHITECT OR ENGINEER OF RECORD.

WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

NOTE: EXAMPLES OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.

5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

5.508.1.1 CHLOROFLUOROCARBONS (CFCS)

INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFCS.

5.508.1.2 HALONS

INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

5.508.2 SUPERMARKET REFRIGERANT LEAK REDUCTION

NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES. OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL-WARMING POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES.

EXCEPTION: REFRIGERATION SYSTEMS CONTAINING LOW-GLOBAL WARMING POTENTIAL (LOW-GWP) REFRIGERANT WITH A GWP VALUE LESS THAN 150 ARE NOT SUBJECT TO THIS SECTION. LOW-GWP REFRIGERANTS ARE NONOZONE-DEPLETING REFRIGERANTS THAT INCLUDE AMMONIA. CARBON DIOXIDE (CO₂), AND POTENTIALLY OTHER REFRIGERANTS.

5.508.2.1 REFRIGERANT PIPING

PIPING COMPLIANT WITH THE CALIFORNIA MECHANICAL CODE SHALL BE INSTALLED TO BE ACCESSIBLE FOR LEAK PROTECTION AND REPAIRS. PIPING RUNS USING THREADED PIPE, COPPER TUBING WITH AN

OUTSIDE DIAMETER (OD) LESS THAN 1/4 INCH, FLARED TUBING CONNECTIONS AND SHORT RADIUS ELBOWS SHALL NOT BE USED IN REFRIGERANT SYSTEMS EXCEPT AS NOTED BELOW.

5.508.2.1.1 THREADED PIPE

THREADED CONNECTIONS ARE PERMITTED AT THE COMPRESSOR

5.508.2.1.2 COPPER PIPE COPPER TUBING WITH AN OD LESS THAN 1/4 INCH MAY BE USED IN

SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR LESS.

5.508.2.1.2.1 ANCHORAGE

ONE-FOURTH-INCH OD TUBING SHALL BE SECURELY CLAMPED

TO A RIGID BASE TO KEEP VIBRATION LEVELS BELOW 8 MILS.

5.508.2.1.3 FLARED TUBING CONNECTIONS DOUBLE-FLARED TUBING CONNECTIONS MAY BE USED FOR PRESSURE CONTROLS, VALVE PILOT LINES AND OIL.

EXCEPTION: SINGLE-FLARED TUBING CONNECTIONS MAY BE USED WITH A MULTIRING SEAL COATED WITH INDUSTRIAL SEALANT SUITABLE FOR USE WITH REFRIGERANTS AND TIGHTENED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SHORT RADIUS ELBOWS ARE ONLY PERMITTED WHERE SPACE LIMITATIONS PROHIBIT USE OF LONG RADIUS ELBOWS.

VALVES AND FITTINGS SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE AND AS FOLLOWS.

5.508.2.2.1 PRESSURE RELIEF VALVES FOR VESSELS CONTAINING HIGH-GWP REFRIGERANT, A RUPTURE DISC SHALL BE INSTALLED BETWEEN THE OUTLET OF THE VESSEL

AND THE INLET OF THE PRESSURE RELIEF VALVE.

5.508.2.2.1.1 PRESSURE DETECTION A PRESSURE GAUGE. PRESSURE TRANSDUCER OR OTHER DEVICE SHALL BE INSTALLED IN THE SPACE BETWEEN THE RUPTURE DISC AND THE RELIEF VALVE INLET TO INDICATE A DISC RUPTURE OR DISCHARGE OF THE RELIEF VALVE.

5.508.2.2.2 ACCESS VALVES

ONLY SCHRADER ACCESS VALVES WITH A BRASS OR STEEL BODY ARE PERMITTED FOR USE.

5.508.2.2.2.1 VALVE CAPS

FOR SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR MORE, VALVE CAPS SHALL BE BRASS OR STEEL AND NOT PLASTIC.

5.508.2.2.2.2 SEAL CAPS

IF DESIGNED FOR IT, THE CAP SHALL HAVE A NEOPRENE O-RING IN PLACE.

5.508.2.2.2.1 CHAIN TETHERS CHAIN TETHERS TO FIT OVER THE STEM ARE REQUIRED FOR

VALVES DESIGNED TO HAVE SEAL CAPS. **EXCEPTION:** VALVES WITH SEAL CAPS THAT ARE NOT

REMOVED FROM THE VALVE DURING STEM OPERATION.

5.508.2.3 REFRIGERATED SERVICE CASES CONTAINING VINEGAR AND SALT SHALL HAVE EVAPORATOR COILS OF CORROSION-RESISTANT MATERIAL, SUCH AS STAINLESS STEEL; OR BE COATED TO PREVENT CORROSION FROM THESE SUBSTANCES.

5.508.2.3.1 COIL COATING

CONSIDERATION SHALL BE GIVEN TO THE HEAT TRANSFER EFFICIENCY OF COIL COATING TO MAXIMIZE ENERGY EFFICIENCY.

REFRIGERANT RECEIVERS WITH CAPACITIES GREATER THAN 200 POUNDS SHALL BE FITTED WITH A DEVICE THAT INDICATES THE LEVEL

5.508.2.4 REFRIGERANT RECEIVERS

OF REFRIGERANT IN THE RECEIVER. 5.508.2.5 PRESSURE TESTING

THE SYSTEM SHALL BE PRESSURE TESTED DURING INSTALLATION

TO 300 PSIG MINIMUM.

PRIOR TO EVACUATION AND CHARGING. 5.508.2.5.1 MINIMUM PRESSURE THE SYSTEM SHALL BE CHARGED WITH REGULATED DRY NITROGEN

AND APPROPRIATE TRACER GAS TO BRING SYSTEM PRESSURE UP

5.508.2.5.2 LEAKS CHECK THE SYSTEM FOR LEAKS, REPAIR ANY LEAKS, AND RETEST FOR PRESSURE USING THE SAME GAUGE.

5.508.2.5.3 ALLOWABLE PRESSURE CHANGE THE SYSTEM SHALL STAND, UNALTERED, FOR 24 HOURS WITH NO MORE THAN A +/- ONE POUND PRESSURE CHANGE FROM 300 PSIG, MEASURED WITH THE SAME GAUGE.

5.508.2.6 EVACUATION

THE SYSTEM SHALL BE EVACUATED AFTER PRESSURE TESTING AND PRIOR TO CHARGING.

5.508.2.6.1 FIRST VACUUM

A 24-HOUR PERIOD.

PULL A SYSTEM VACUUM DOWN TO AT LEAST 1000 MICRONS (+/- 50 MICRONS), AND HOLD FOR 30 MINUTES.

HOLD FOR 24 HOURS WITH A MAXIMUM DRIFT OF 100 MICRONS OVER

5.508.2.6.2 SECOND VACUUM

PULL A SECOND SYSTEM VACUUM TO A MINIMUM OF 500 MICRONS AND HOLD FOR 30 MINUTES.

PULL A THIRD VACUUM DOWN TO A MINIMUM OF 300 MICRONS, AND

CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR **QUALIFICATIONS 702 QUALIFICATIONS**

702.1 INSTALLER TRAINING

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- STATE CERTIFIED APPRENTICESHIP PROGRAMS.
- 2. PUBLIC UTILITY TRAINING PROGRAMS. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATEWIDE ENERGY CONSULTING OR VERIFICATION
- ORGANIZATIONS. 4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS. 5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

702.2 SPECIAL INSPECTION [HCD]

WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:

- 1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING
- PROGRAM OR STANDARD PUBLISHER. 2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
- 3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.

4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

- 1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE
- INSPECTING FOR COMPLIANCE WITH THIS CODE HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM

[BSC-CG] WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION. THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED

TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE LOCAL AGENCY.

SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE

INSPECTING FOR COMPLIANCE WITH THIS CODE.

703 VERIFICATIONS

703.1 DOCUMENTATION.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED APPLICABLE CHECKLIST.

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

(7)

NO. REVISION

7

S

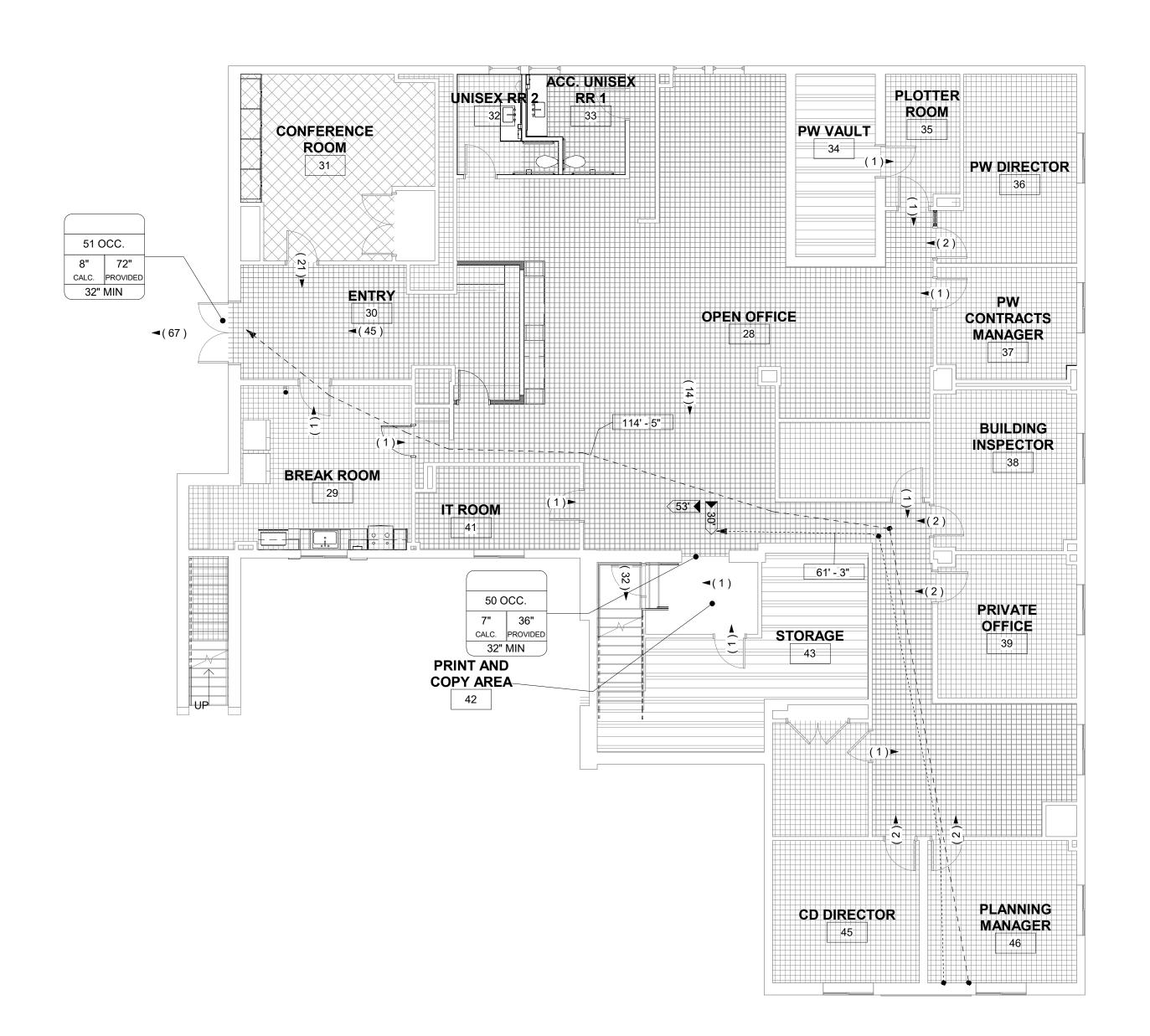
DRAWN BY CHECKED BY SD, DDA, AK

3090-01-CU23 SHEET

09/27/2024

PROJECT NUMBER

PROJECT MANAGER



CODE ANALYSIS - LEVEL 1 A-201 G-403 SCALE: 1/8" = 1'-0"

EGRESS

	1					0.114 0.00		EXITING	
GROUP	NO.	SPACE NAME	FUNCTION OF SPACE	DESIGNED AREA USABLE*	OLF	CUM. OCC. LOAD OF SPACE	MAX. SINGLE EXIT CUMULITIVE LOAD OF SPACE	MIN. NUMBER OF EXITS PER SPACE	MAX. COMMON PAT OF EGRESS ALLOWI FOR SINGLE EXIT
B	28	OPEN OFFICE	BUSINESS AREAS	1.826 SF	150	13	49	1	100
B	29	BREAK ROOM	KITCHENS, COMMERCIAL	308 SF	200	2	49	1	100
B	30	ENTRY	ASSEMBLY WITHOUT FIXED SEATS: STANDING SPACE	260 SF	5	53	49	2	75
В	31	CONFERENCE ROOM	CONCENTRATED BUSINESS USE AREAS	311 SF			49		75
В	32	UNISEX RR 2	(none)	77 SF			49		-
В	33	ACC. UNISEX RR 1	(none)	85 SF			49		
В	35	PLOTTER ROOM	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	94 SF	300	1	49	1	100
В	36	PW DIRECTOR	BUSINESS AREAS	226 SF	150	2	49	1	100
В	37	PW CONTRACTS MANAGER	BUSINESS AREAS	151 SF	150	2	49	1	100
В	38	BUILDING INSPECTOR	BUSINESS AREAS	224 SF	150	2	49	1	100
В	39	PRIVATE OFFICE	BUSINESS AREAS	194 SF	150	2	49	1	100
В	41	IT ROOM	NON-OCCUPIED MECHANICAL EQUIPMENT	130 SF	300	1	49	1	100
В	42	PRINT AND COPY AREA	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	83 SF	300	1	49	1	100
В	43	STORAGE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	316 SF	300	2	49	1	100
В	44	OFFICE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	108 SF	300	1	49	1	100
В	45	CD DIRECTOR	BUSINESS AREAS	207 SF	150	2	49	1	100
В	46	PLANNING MANAGER	BUSINESS AREAS	209 SF	150	2	49	1	100
S	34	PW VAULT	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	144 SF	300	1	29	1	100
S	40	STORAGE	(none)	113 SF			29		
				5,066 SF		87			•
S	26	RESTROOM 2	(none)	Not Placed	0		29		
				0 SF		0			
				5,066 SF		87			

PATH OF TRAVEL

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER-FREE ACCESS ROUTE

FLOOR OR GROUND SURFACE (CBC 11B-302.1)
SURFACE IS STABLE, FIRM, AND SLIP RESISTANT.

SLOPE (CBC 11B-403.3)
THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE RUNNING SLOPE OF SIDEWLAKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.

 CHANGES IN LEVEL (CBC 11B-403.3)
 CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. (CBC 11B-303.2)

• CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (CBC

CLEARANCES (CBC 11B-403.5.1) THE CLEAR WIDTH SHALL BE 36" MINIMUM

- 1. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32" MINIMUM FOR A LENGTH OF 24" MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48" LONG
- MINIMUM AND 36" WIDE MINIMUM. (EXCEPTION 1) 2. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN
- OCCUPANT LOAD OF 10 OR MORE SHALL BE 44" MINIMUM. (EXCEPTION 2) 3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MINIMUM
- (EXCEPTION 3)
 4. THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO TOILET COMPARTMENTS SHALL BE 44" (EXCEPTION 4)

 PROTRUDING OBJECTS (CBC 11B-307)
 ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (CBC 11B-307.4) OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN

80" ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH (CBC 11B-307.2)

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

LEGEND

EGRESS PATH OF TRAVEL

0' COMMON PATH OF EGRESS TRAVEL DISTANCE

[10] COMBINED OCCUPANT COUNT ALONG PATH OF TRAVEL 123 **←**ROOM NUMBER

EGRESS WIDTH TAG EXIT 1 ← EXIT IDENTIFICATION 20 OCC. ← TOTAL OCCUPANTS CALCULATED MIN. EXIT WIDTH → 3" 32" ← EXIT WIDTH PROVIDED CALCULATED CALC. PROVIDED OK

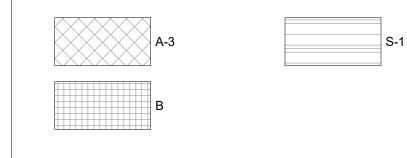
SURFACE MOUNTED FIRE EXTINGUISHER, HALOCARBON TYPE IN SERVER ROOMS 2A:10B:C RATING

FIRE EXTINGUISHER & RECESSED CABINET 2A:10B:C RATING



ILLUMINATED EXIT SIGN, ARROW INDICATES DIRECTIONAL CHEVRON REFER TO INTERIOR ELEVATIONS AND RCP FOR MOUNTING LOCATION

OCCUPANCY GROUP LEGEND



---- PATH OF TRAVEL

----- COMMON PATH OF TRAVEL

NAL HILL CITY HALL - MODERNIZATION 5 Cherry Ave, Signal Hill, C CODE LEVEL 1 SIGNAL 2175

90755

NO.	REVISION	DATE

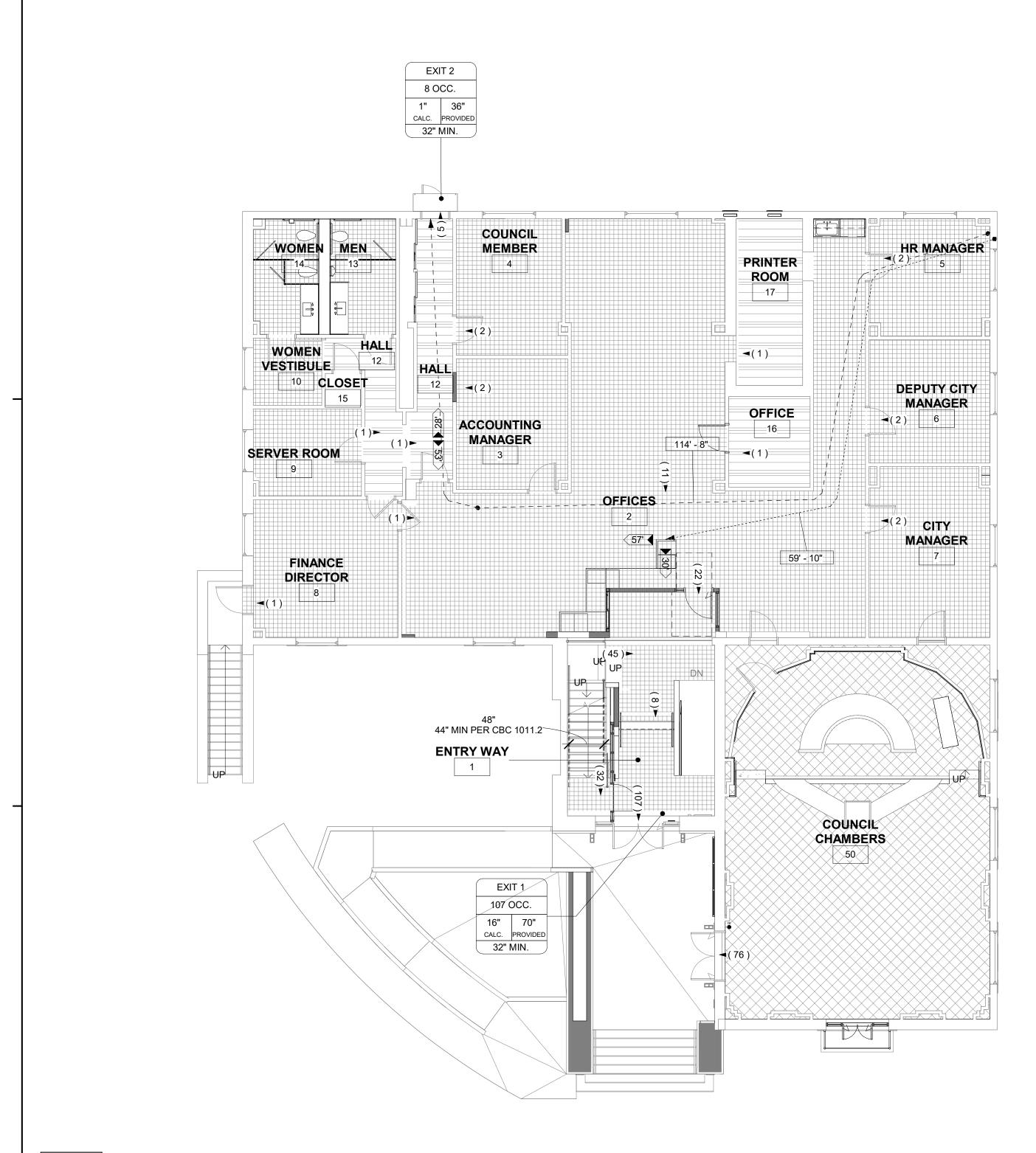
PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 **PROJECT NUMBER**

3090-01-CU23

BID

*USABLE AREA IS TO FINISH SURFACE OF A SPACE



CODE ANALYSIS - LEVEL 2 A-201 G-404 SCALE: 1/8" = 1'-0"

EGRESS

*USABLE AREA IS TO FINISH SURFACE OF A SPACE

						01111 000		EXITING		
OCCUPANCY GROUP	NO.	SPACE NAME	FUNCTION OF SPACE	DESIGNED AREA USABLE*	OLF	CUM. OCC. LOAD OF SPACE	MAX. SINGLE EXIT CUMULITIVE LOAD OF SPACE	MIN. NUMBER OF EXITS PER SPACE	MAX. COMMON PATH OF EGRESS ALLOWE FOR SINGLE EXIT	
В	2	OFFICES	BUSINESS AREAS	1.516 SF	150	11	49	1	100	
В	3	ACCOUNTING MANAGER	BUSINESS AREAS	185 SF	150	2	49	1	100	
В	4	COUNCIL MEMBER	BUSINESS AREAS	185 SF	150	2	49	1	100	
В	5	HR MANAGER	BUSINESS AREAS	175 SF	150	2	49	1	100	
В	6	DEPUTY CITY MANAGER	BUSINESS AREAS	190 SF	150	2	49	1	100	
В	7	CITY MANAGER	BUSINESS AREAS	258 SF	150	2	49	1	100	
В	8	FINANCE DIRECTOR	BUSINESS AREAS	253 SF	150	2	49	1	100	
В	10	WOMEN VESTIBULE	(none)	59 SF			49		100	
В	13	MEN	(none)	98 SF			49			
В	14	WOMEN	(none)	94 SF			49			
В	50	COUNCIL CHAMBERS	ASSEMBLY WITHOUT FIXED SEATS: UNCONCENTRATED (TABLE AND CHAIRS)	1,130 SF	15	76	49	2	75	
S	9	SERVER ROOM	(none)	120 SF			29		100	
S	11	CLOSET	(none)	17 SF			29			
S	12	HALL	(none)	216 SF			29			
S	15	CLOSET	(none)	15 SF			29			
S	16	OFFICE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	94 SF	300	1	29	1	100	
S	17	PRINTER ROOM	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	142 SF	300	1	29	1	100	
				4,747 SF		101				
В	1	ENTRY WAY	ASSEMBLY WITHOUT FIXED SEATS: UNCONCENTRATED (TABLE AND CHAIRS)	122 SF	15	9	49	1	100	
				122 SF		9				
				4,870 SF		110				

PATH OF TRAVEL

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER-FREE ACCESS ROUTE

FLOOR OR GROUND SURFACE (CBC 11B-302.1)
SURFACE IS STABLE, FIRM, AND SLIP RESISTANT.

SLOPE (CBC 11B-403.3)
THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE RUNNING SLOPE OF SIDEWLAKS SHALL NOT EXCEED THE

 CHANGES IN LEVEL (CBC 11B-403.3)
 CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. (CBC 11B-303.2)

• CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (CBC

GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.

CLEARANCES (CBC 11B-403.5.1) THE CLEAR WIDTH SHALL BE 36" MINIMUM

- 1. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32" MINIMUM FOR A LENGTH OF 24" MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48" LONG MINIMUM AND 36" WIDE MINIMUM. (EXCEPTION 1)
- 2. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44" MINIMUM. (EXCEPTION 2)
- 3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MINIMUM (EXCEPTION 3)
 4. THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO TOILET
- COMPARTMENTS SHALL BE 44" (EXCEPTION 4)

PROTRUDING OBJECTS (CBC 11B-307) ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF

OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (CBC 11B-307.4) OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4"

MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH (CBC 11B-307.2)

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

LEGEND

EGRESS PATH OF TRAVEL

0' COMMON PATH OF EGRESS TRAVEL DISTANCE

[10] COMBINED OCCUPANT COUNT ALONG PATH OF TRAVEL

123 **←**ROOM NUMBER

EGRESS WIDTH TAG EXIT 1 ← EXIT IDENTIFICATION 20 OCC. ← TOTAL OCCUPANTS CALCULATED MIN. EXIT WIDTH → 3" | 32" ← EXIT WIDTH PROVIDED CALCULATED CALC. PROVIDED OK

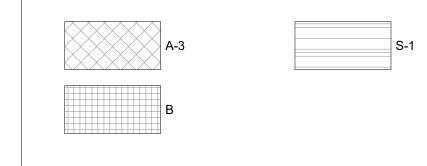
SURFACE MOUNTED FIRE EXTINGUISHER, HALOCARBON TYPE IN SERVER ROOMS 2A:10B:C RATING

FIRE EXTINGUISHER & RECESSED CABINET 2A:10B:C RATING



ILLUMINATED EXIT SIGN, ARROW INDICATES DIRECTIONAL CHEVRON REFER TO INTERIOR ELEVATIONS AND RCP FOR MOUNTING LOCATION

OCCUPANCY GROUP LEGEND



---- PATH OF TRAVEL

----- COMMON PATH OF TRAVEL

90755 ANAL 2 NAL HILL CITY HALL - MODERNIZATION 5 Cherry Ave, Signal Hill, C SIGNAL

CODE LEVEL 2

BUILDING

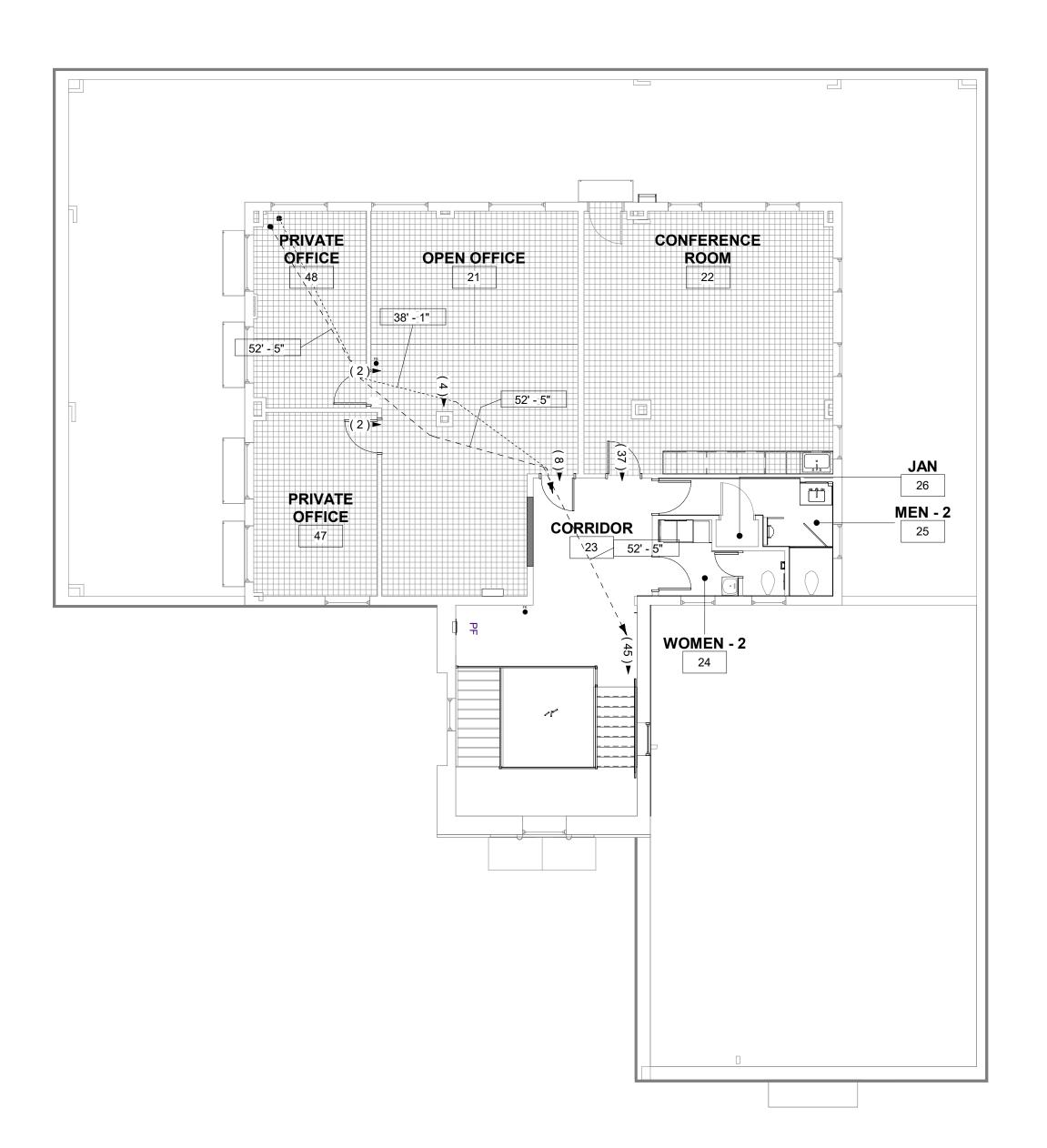
NO. REVISION

2175

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 **PROJECT NUMBER**

3090-01-CU23



CODE ANALYSIS - LEVEL 3

A-201 | G-405 | SCALE: 1/8" = 1'-0"

*USABLE AREA IS TO FINISH SURFACE OF A SPACE

EGRESS

						CUM OCC		EXITING	
OCCUPANCY TYPE	NO.	SPACE NAME	FUNCTION OF SPACE	DESIGNED AREA USABLE*	OLF	CUM. OCC. LOAD OF SPACE	MAX. SINGLE EXIT CUMULITIVE LOAD OF SPACE	MIN. NUMBER OF EXITS PER SPACE	MAX. COMMON PAT OF EGRESS ALLOWE FOR SINGLE EXIT
(none)	51	PRIVATE OFFICE	(none)	115 SF					
(none)	52	PRIVATE OFFICE	(none)	61 SF					
(none)	53	PRIVATE OFFICE	(none)	148 SF					
В	47	PRIVATE OFFICE	BUSINESS AREAS	190 SF	150	2	49	1	100
В	48	PRIVATE OFFICE	BUSINESS AREAS	183 SF	150	2	49	1	100
	•			697 SF		4			
В	21	OPEN OFFICE	BUSINESS AREAS	597 SF	150	4	49	1	100
В	22	CONFERENCE ROOM	ASSEMBLY WITHOUT FIXED SEATS: UNCONCENTRATED (TABLE AND CHAIRS)	544 SF	15	37	49	1	75
В	23	CORRIDOR	(none)	447 SF			49		
В	24	WOMEN - 2	(none)	62 SF			49		
В	25	MEN - 2	(none)	89 SF			49		
S	26	JAN	(none)	10 SF			29		
				1,749 SF		41			
				2,446 SF		45			

PATH OF TRAVEL

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON THE PLAN IS A BARRIER-FREE ACCESS ROUTE

FLOOR OR GROUND SURFACE (CBC 11B-302.1)
SURFACE IS STABLE, FIRM, AND SLIP RESISTANT.

SLOPE (CBC 11B-403.3)
THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). THE RUNNING SLOPE OF SIDEWLAKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.

 CHANGES IN LEVEL (CBC 11B-403.3)
 CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. (CBC 11B-303.2)

• CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (CBC

CLEARANCES (CBC 11B-403.5.1) THE CLEAR WIDTH SHALL BE 36" MINIMUM

- 1. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32" MINIMUM FOR A LENGTH OF 24" MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48" LONG MINIMUM AND 36" WIDE MINIMUM. (EXCEPTION 1)
- 2. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44" MINIMUM. (EXCEPTION 2) 3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MINIMUM
- (EXCEPTION 3)
 4. THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO TOILET
- COMPARTMENTS SHALL BE 44" (EXCEPTION 4)

PROTRUDING OBJECTS (CBC 11B-307)

• ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (CBC 11B-307.4) OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN

80" ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH (CBC 11B-307.2)

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

LEGEND

EGRESS PATH OF TRAVEL

0' COMMON PATH OF EGRESS TRAVEL DISTANCE

[10] COMBINED OCCUPANT COUNT ALONG PATH OF TRAVEL

123 **←** ROOM NUMBER

(12) ■ NUMBER OF OCCUPANTS EXITING SPACE

EGRESS WIDTH TAG	EX	IT 1 ◀	EXIT IDENTIFICATION
	20 C	OCC.	TOTAL OCCUPANTS CALCULATE
MIN. EXIT WIDTH → ►	3"	32" -	EXIT WIDTH PROVIDED
CALCULATED		PROVIDED K	

SURFACE MOUNTED FIRE EXTINGUISHER, HALOCARBON TYPE IN SERVER ROOMS 2A:10B:C RATING

FIRE EXTINGUISHER & RECESSED CABINET 2A:10B:C RATING ILLUMINATED EXIT SIGN,

ARROW INDICATES DIRECTIONAL CHEVRON REFER TO INTERIOR ELEVATIONS AND RCP FOR MOUNTING LOCATION

OCCUPANCY GROUP LEGEND



---- PATH OF TRAVEL

----- COMMON PATH OF TRAVEL

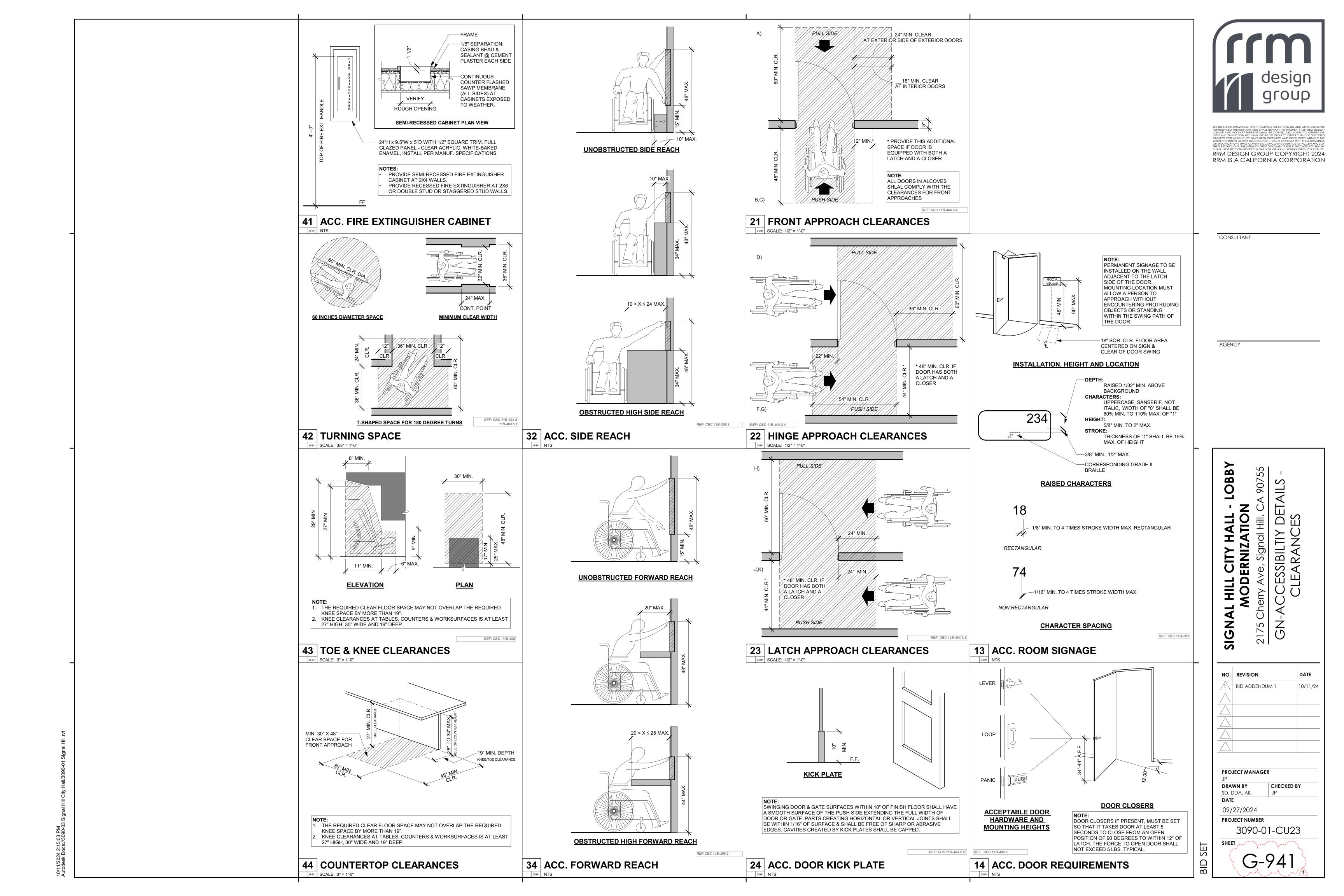
90755 SIGNAL HILL CITY HALL - MODERNIZATION
2175 Cherry Ave, Signal Hill, C 2175

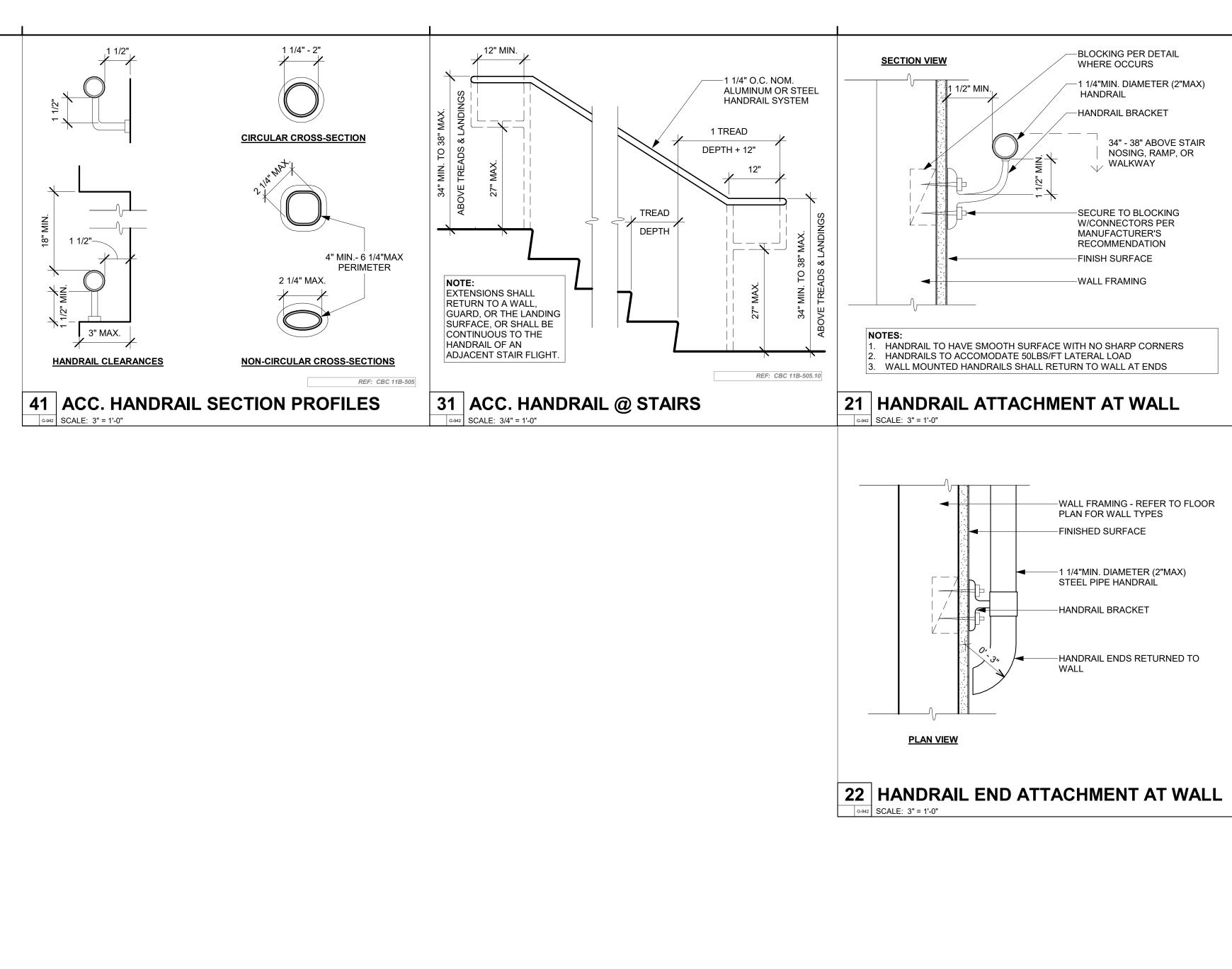
NO. REVISION

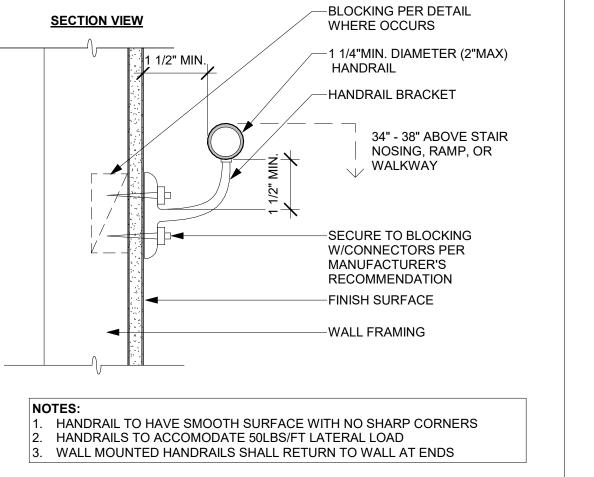
PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 **PROJECT NUMBER**

3090-01-CU23







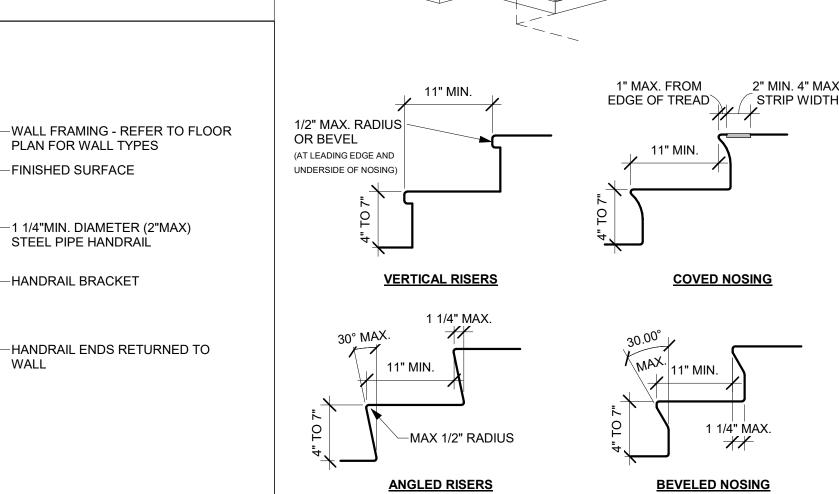
PLAN FOR WALL TYPES

STEEL PIPE HANDRAIL

-HANDRAIL BRACKET

-FINISHED SURFACE

21 HANDRAIL ATTACHMENT AT WALL



NOTES: 1. TREAD & LANDING SURFACES SHALL BE STABLE, FIRM & SLIP RESISTANT. 2. STAIR TREADS & RISERS SHALL BE OF UNIFORM SIZE AND SHAPE.

3. ALL NOSING SHALL BE UNIFORM SIZE, INCLUDING EDGE OF FLOOR AT TOP 4. TREADS SHALL BE PERMITTED TO HAVE A SLOPE NOT STEEPER THAN

WARNING STRIPS:

MIN. 2" TO MAX. 4" WIDE; FULL WIDTH OF STAIR.

 MUST BE CLEARLY CONTRASTING COLOR FROM ADJOINING SURFACES. THE STRIP MUST BE MADE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.

EXTERIOR STAIRS:

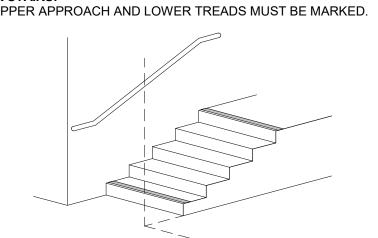
1:48 IN ANY DIRECTION.

 ALL TREADS MUST BE MARKED. PAINTED OR GROOVED STRIPES NOT ACCEPTABLE; MATERIAL SHALL BE AT LEAST AS SLIP RESISTANT AS TREADS.

EXTERIOR STAIRS SHALL DESIGNED TO PREVENT THE ACCUMULATION

OF WATER. INTERIOR STAIRS:

UPPER APPROACH AND LOWER TREADS MUST BE MARKED.



1" MAX. FROM 2" MIN. 4" MAX. EDGE OF TREAD STRIP WIDTH

12 ACC. STAIR COMPLIANCE



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

REF: CBC 11B-504

A 90755 LOBB CESSIBILTIY DETAILS STAIRS SIGNAL HILL CITY HALL - Le MODERNIZATION 2175 Cherry Ave, Signal Hill, CA

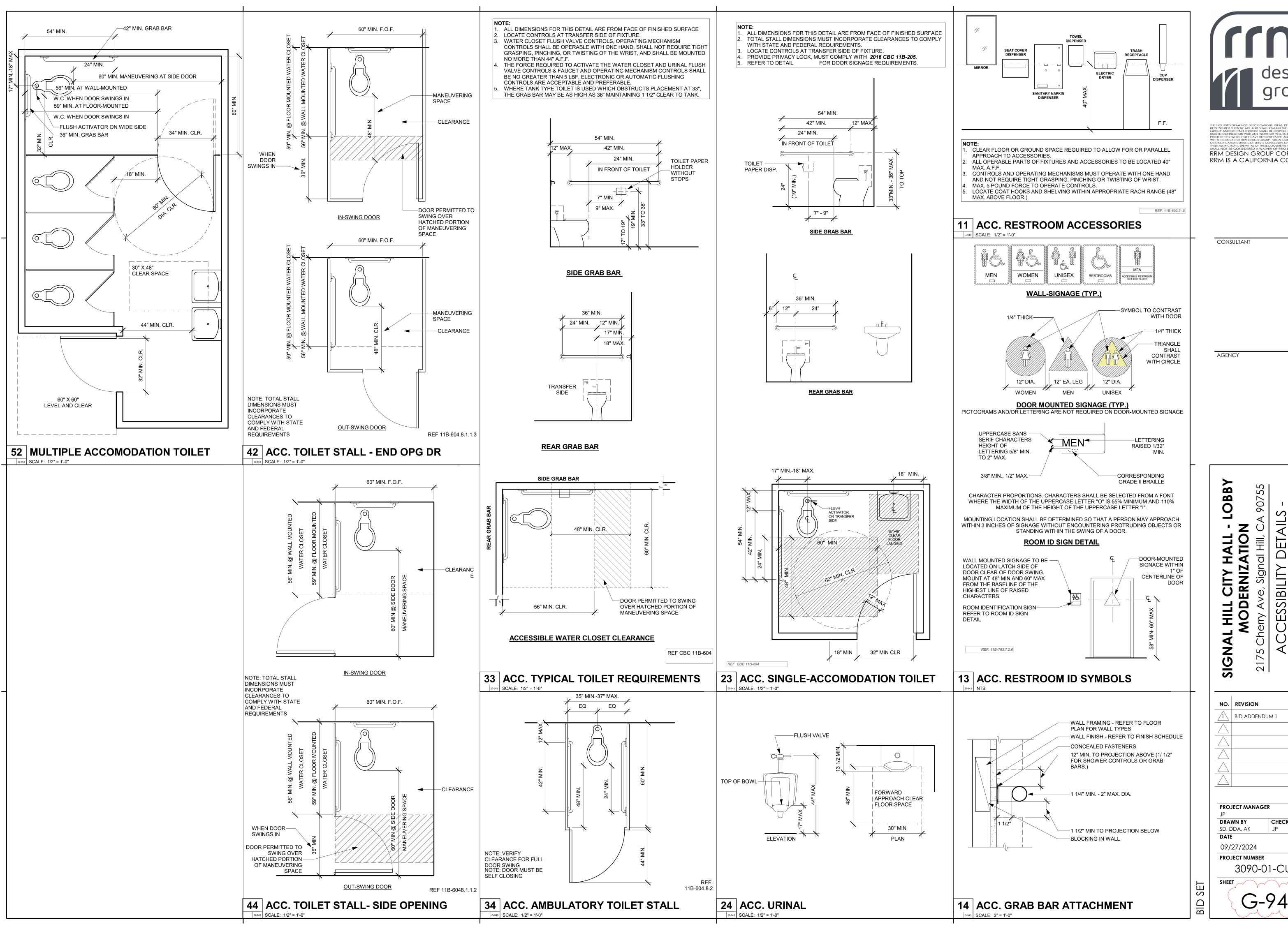
SIGNAL NO. REVISION DATE 10/11/24

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 PROJECT NUMBER

3090-01-CU23

BID SET

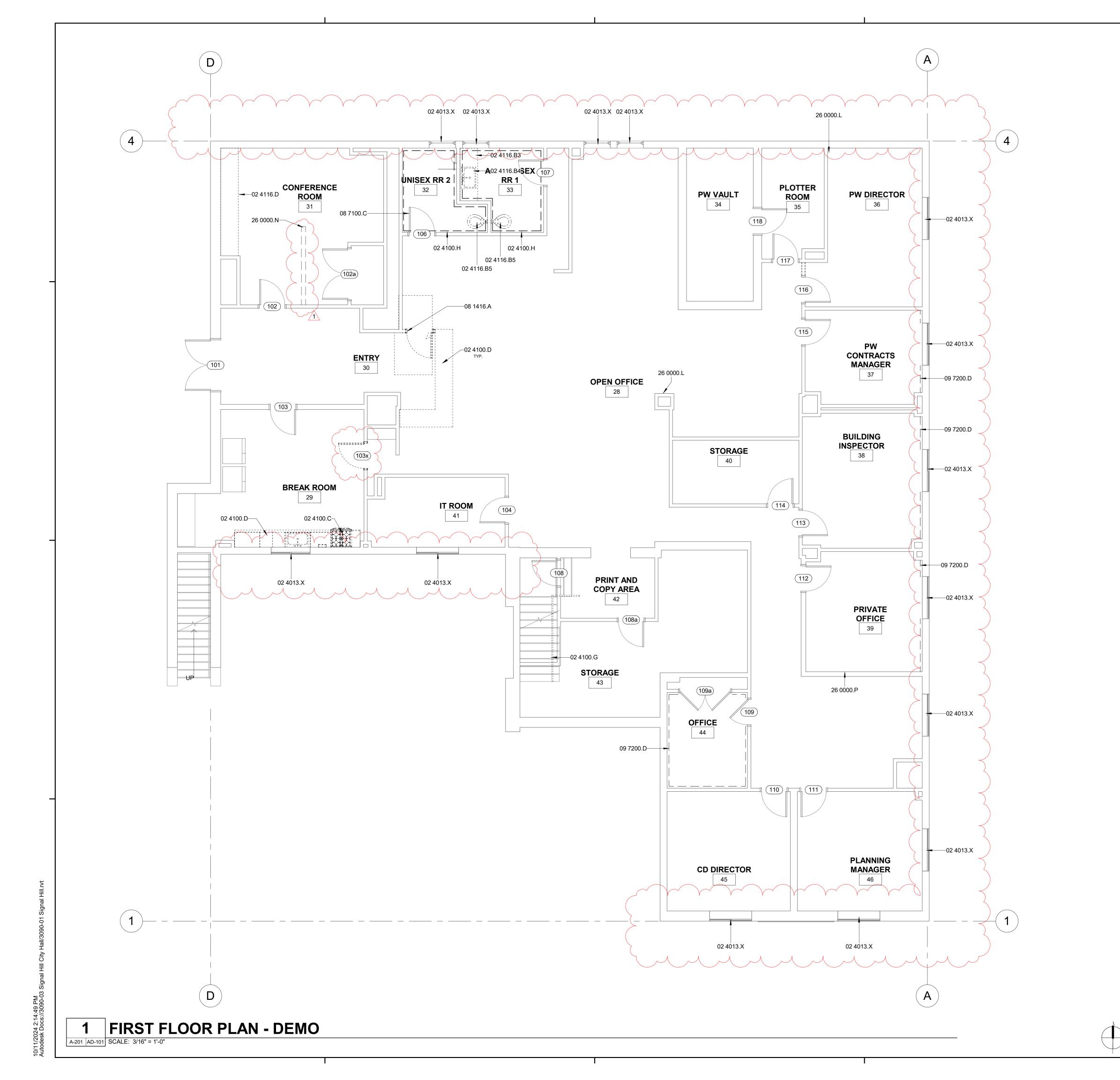


RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

ESSIBILITYRESTRO

DATE 10/11/24

CHECKED BY



- 1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER
- INFORMATION, IF PROVIDED. 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF
- PROVIDED. 5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR
- COORDINATION PURPOSES ONLY.
- 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS
- 9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY
- OF PARTITION RATING 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC.
- ARE RELOCATED. 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- 16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

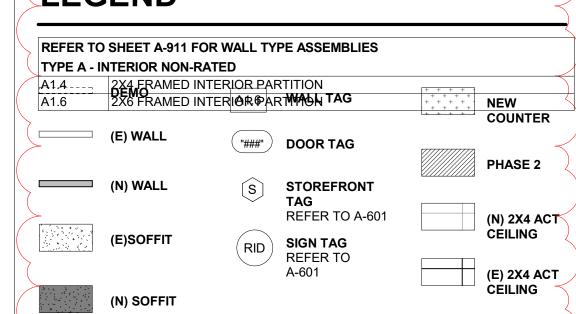
DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL
- EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAING ITEMS. REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL
- BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- 7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW
- 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
- 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- NEW AS NOTED. 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

_/ Y	Y Y Y Y Y
02 4013.X	EXISTING WINDOW TO REMAIN
02 4100.C	EXISTING KITCHEN EQUIPMENT AND CASEWORK TO BE REMOVED AND DISCARDED
02 4100.D	EXISTING COUNTERTOP AND CASEWORK TO BE REMOVED
02 4100.G	EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED.
02 4100.H	EXISTING RESTROOM FLOOR AND WALL TILE TO BE DEMOLISHED
02 4116.B3	EXISTING COUNTER TO BE REMOVED.
02 4116.B4	EXISTING LAVATORY TO BE REMOVED
02 4116.B5	EXISTING TOILET TO BE REMOVED
02 4116.D	EXISTING COUNTERTOP AND CASEWORK TO BE REMOVED
08 1416.A	WOOD DOOR. REFER TO DOOR SCHEDULE.
08 7100.C	REMOVE AND INSTALL NEW DOOR HARDWARE
09 7200.D	REMOVE EXISTING WALLPAPER THROUGHOUT
26 0000.L	REMOVE WIRE TRACK, PREP WALL FOR NEW ELECTRICAL BOX
26 0000.N	TRENCH FOR DATA AND ALL CONDUITS
26 0000.P	REMOVE AND RELOCATE POWER
/	

LEGEND





RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

OBB

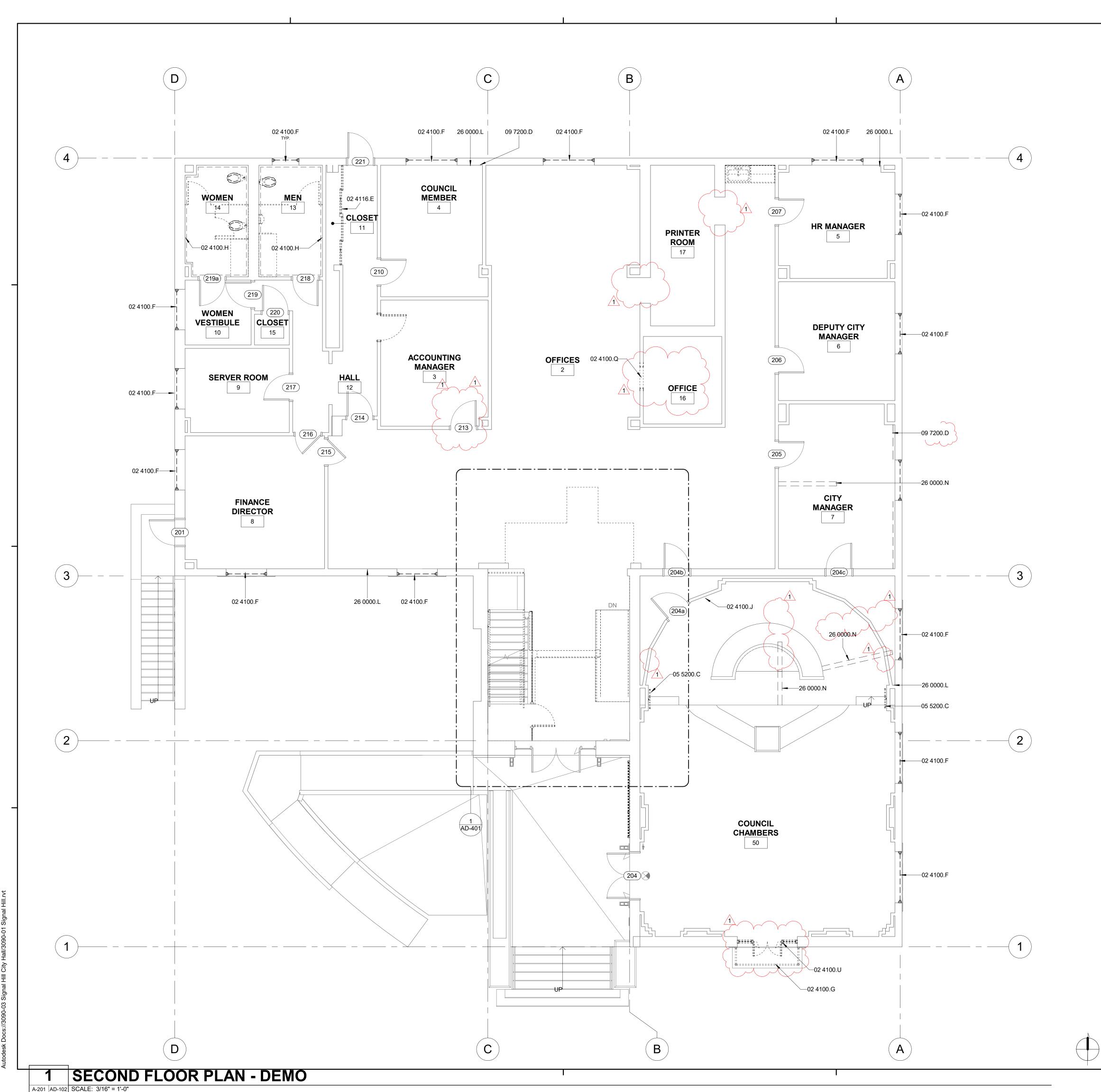
SIGN

55 907 I FIRST

 \sim

NO. REVISION DATE $1 \setminus |$ bid addendum 1 10/11/24 **PROJECT MANAGER** DRAWN BY CHECKED BY SD, DDA, AK 09/27/2024 **PROJECT NUMBER**

BID



- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED. 3. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER
- INFORMATION, IF PROVIDED. 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF
- PROVIDED. 5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR
- COORDINATION PURPOSES ONLY. 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- 7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS
- 9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY
- OF PARTITION RATING 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC.
- ARE RELOCATED. 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- . 16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND _ DEMO TO STUD.

DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- 3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY
- DISPOSE OF REMAING ITEMS. 6. REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS
- ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG
- 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE
- 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
- 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

EXISTING WINDOW TO BE DEMOLISHED, PREP WALL TO RECEIVE NEW WINDOW.

EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE EXISTING RESTROOM FLOOR AND WALL TILE TO BE DEMOLISHED EXISTING ACOUSTIC WALL COVERING TO BE DEMOLISHED

EXISTING DOOR FRAME CASING TO BE REMOVED AND REPLACED. EXISTING WINDOW AND DOOR TO BE REMOVED AND REPLACED. EXISTING DOOR TO BE REMOVED AND REPLACED. SEE DOOR

WOOD HANDRAIL. STAIN TO MATCH ADJACENT WOOD TOP FINISH. REMOVE EXISTING WALLPAPER THROUGHOUT REMOVE WIRE TRACK, PREP WALL FOR NEW ELECTRICAL BOX

26 0000.N

TRENCH FOR DATA AND ALL CONDUITS

	O SHEET A-911 F		PE ASSEMBLIES		
A1.4	2X4 FRAMED I		RTITION		
A1.6	2X6 FRAMED I				
>	DEMO (E) WALL	A1.6	WALL TAG DOOR TAG	+ + + + + + + + + + + + + + + + + + + +	NEW COUNTER
·	(N) WALL	S	STOREFRONT		PHASE 2
	(E)SOFFIT	RID	TAG REFER TO A-601 SIGN TAG REFER TO		(N) 2X4 AC CEILING



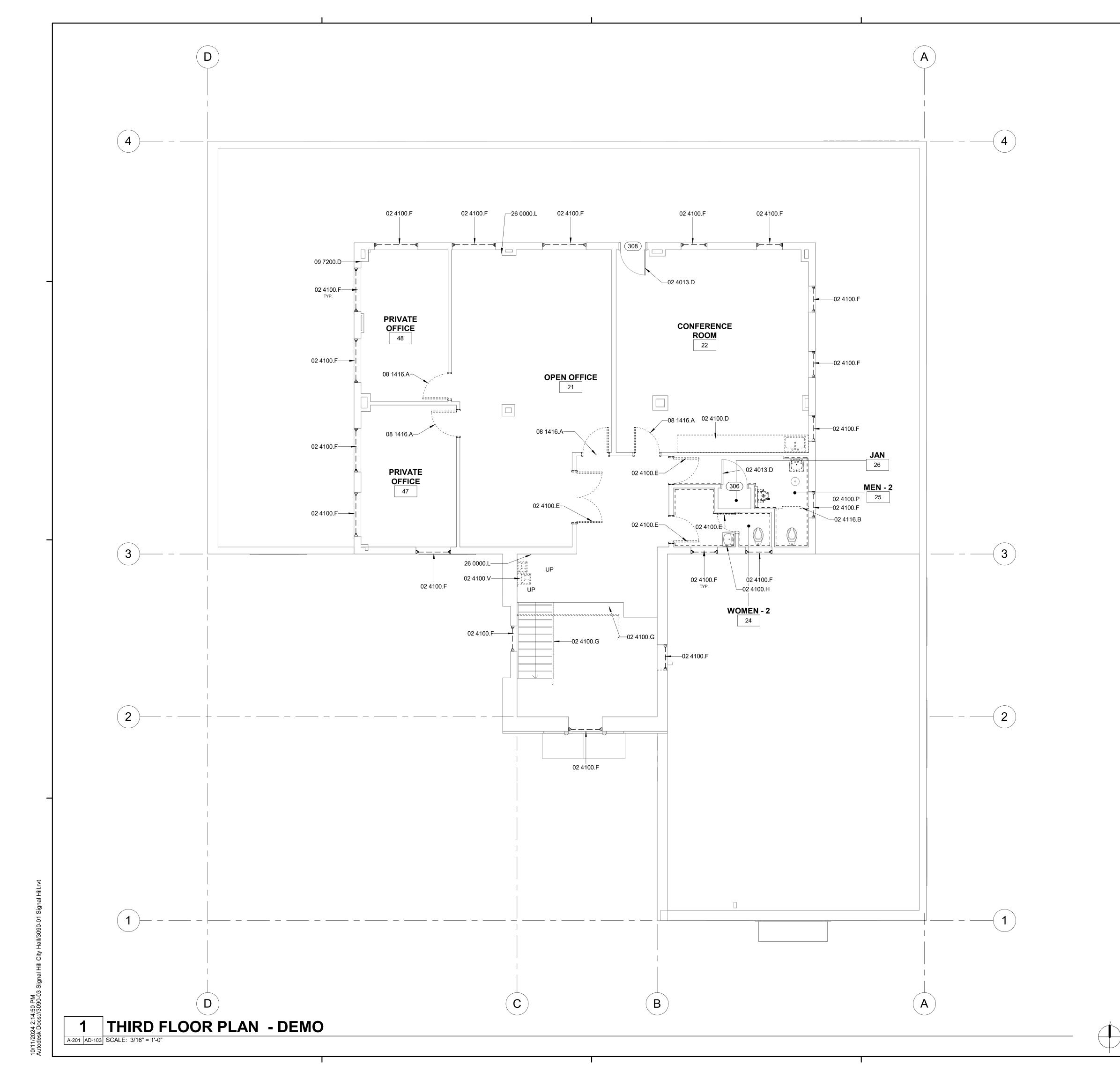
RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

I

NO. REVISION BID ADDENDUM 1 10/11/24 PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK 09/27/2024 **PROJECT NUMBER** 3090-01-CU23



- 1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED. 3. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER
- INFORMATION, IF PROVIDED. 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF
- PROVIDED. 5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
 - PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS
- 9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY
- OF PARTITION RATING 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC.
- ARE RELOCATED. 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- 16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION. 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR

REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY

- CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO
- DISPOSE OF REMAING ITEMS. REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS
- 7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO
- DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION. 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND
- CONSTRUCTION. · 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE
- CONSTRUCTION. 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH
- NEW AS NOTED. 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

EXISTING DOOR TO BE REMAIN. PROTECT IN PLACE. 02 4100.D EXISTING COUNTERTOP AND CASEWORK TO BE REMOVED EXISTING DOOR TO BE DEMOLISHED 02 4100.E EXISTING WINDOW TO BE DEMOLISHED, PREP WALL TO RECEIVE NEW WINDOW. EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED. EXISTING RESTROOM FLOOR AND WALL TILE TO BE DEMOLISHED

EXISTING DRINKING FOUNTAIN TO BE REMOVED, PREP WALL AND WATER LINES FOR NEW BOTTLE WATER FILLER. EXISTING TOILET PARTITION TO BE REMOVED 08 1416.A WOOD DOOR. REFER TO DOOR SCHEDULE.

EXISTING URINAL TO BE REMOVED.

REMOVE EXISTING WALLPAPER THROUGHOUT REMOVE WIRE TRACK, PREP WALL FOR NEW ELECTRICAL BOX

26 0000.L

LEGEND

REFER T	O SHEET A-911 F	FOR WALL TY	PE ASSEMBLIES		
TYPE A -	INTERIOR NON-	RATED			
A1.4	2X4 FRAMED I	NTERIOR PAI	RTITION		~
A1.6	2X6 FRAMED I	NTERIOR PAI	RTITION		
	DEMO	A1.6	WALL TAG	+ + + + + + + + + + + +	NEW COUNTER
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	(E) WALL	"###"	DOOR TAG		PHASE 2
	(N) WALL	S	STOREFRONT TAG REFER TO A-601		(N) 2X4 ACT

SIGN TAG

REFER TO (E) 2X4 ACT CEILING



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

55 907 I

SIGN

NO. REVISION DATE BID ADDENDUM 1 10/11/24 **PROJECT MANAGER** DRAWN BY CHECKED BY SD, DDA, AK DATE 09/27/2024

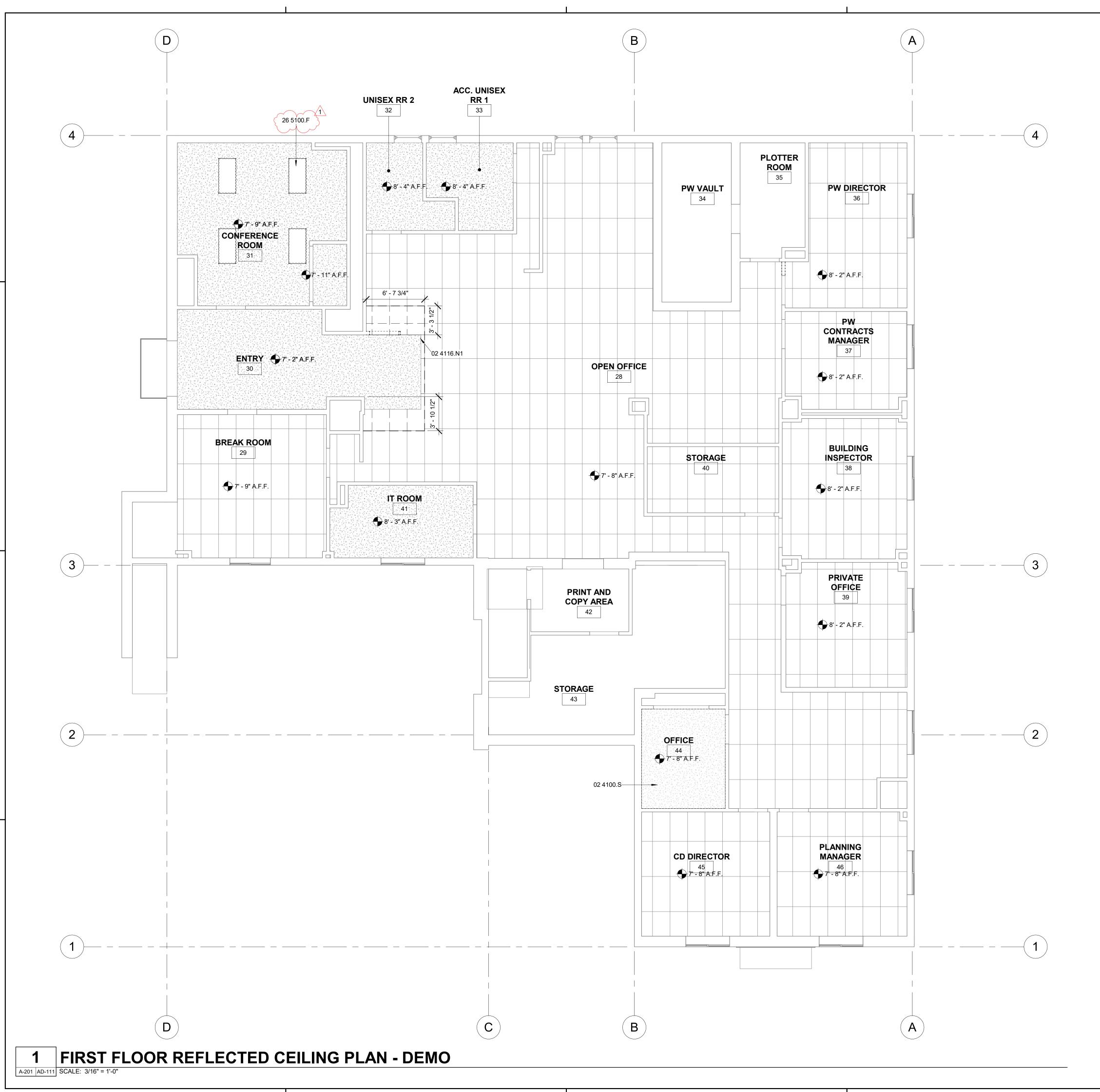
 \sim

HIRD

BID

CEILING

PROJECT NUMBER



- 1. REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- 3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- 4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES. 5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED
- 6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
- 7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
- 8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH
- 9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- 10. ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING
- LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION. 11. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- 12. SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT
- 13. CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- 3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION. 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR
- CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAING ITEMS.
- REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- 7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
- 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
- 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

EXISTING CEILING TO BE REMOVED.

EXISTING ACOUSTICAL LAY-IN TILE CEILING. CEILING TILES TO BE

DEMOLISHED

NEW LAY IN LED LIGHT FIXTURE - OWNER PROVIDED AND OWNER INSTALLED. FIXTURE TO BE MARK WHISPER DC2DC 2X4 WITH SOFT WHITE ACRYLIC LENSE. ARCHITECT TO SELECT FROM FULL RANGE OF COLOR TEMPERATURES.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES TYPE A - INTERIOR NON-RATED A1.4 2X4 FRAMED INTERIOR PARTITION

2X6 FRAMED INTERIOR PARTITION

(E) WALL

A1.6 WALL TAG ("###") DOOR TAG

COUNTER PHASE 2

S STOREFRONT REFER TO A-601 SIGN TAG REFER TO A-601

(N) 2X4 ACT CEILING

NEW

(E) 2X4 ACT CEILING

09/27/2024 PROJECT NUMBER 3090-01-CU23

CHECKED BY

PROJECT MANAGER

DRAWN BY

SD, DDA, AK

RRM DESIGN GROUP COPYRIGHT 2024

RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

LOBB

CITY H, ERNIZA

SIGN

NO. REVISION

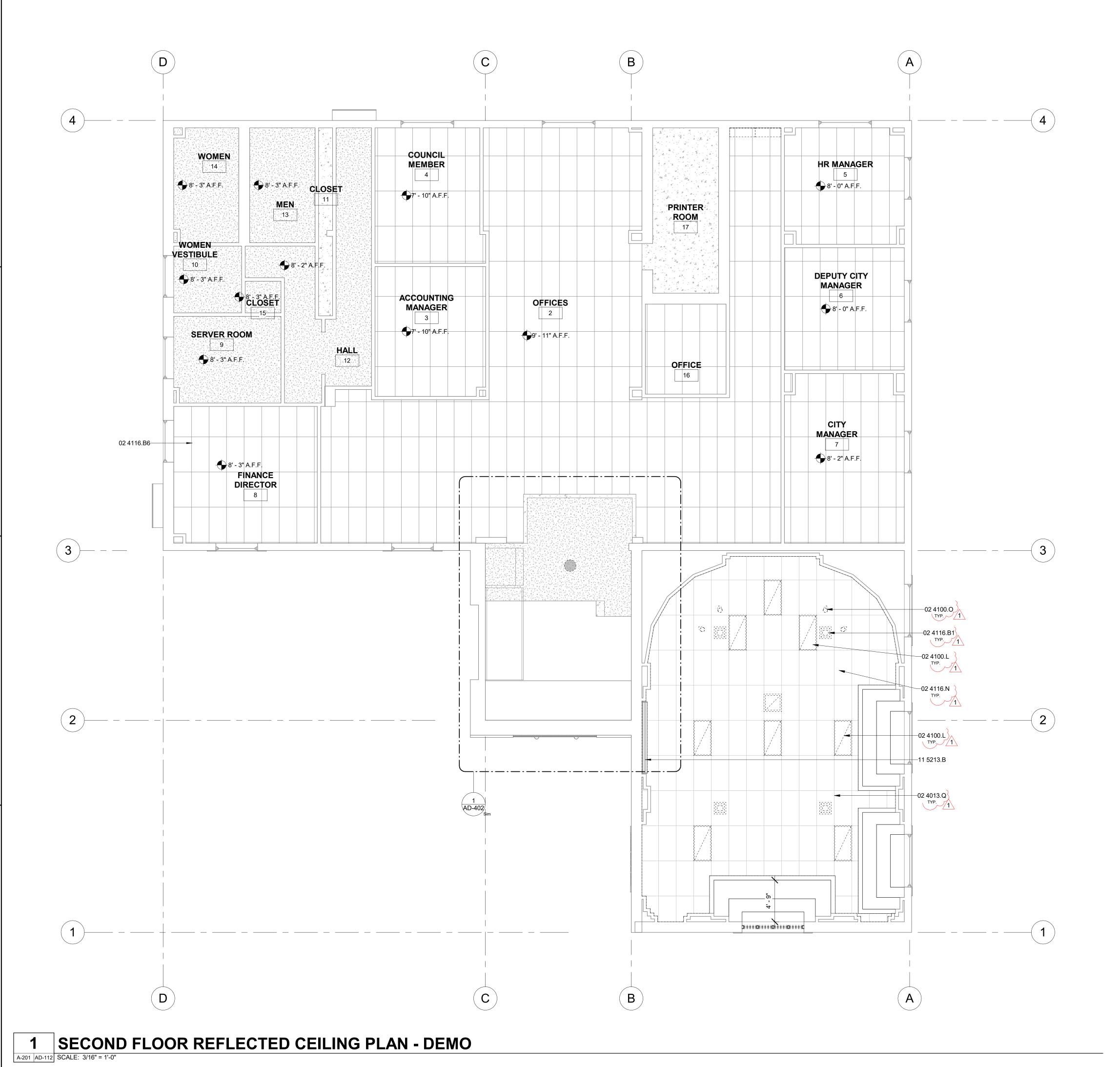
 $1 \setminus |$ bid addendum 1

2175 FIRST F

DATE

10/11/24

90755



- 1. REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- 3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- 4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES. 5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED
- 6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
- 7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS 8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH
- 9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL
- SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- 10. ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION.
- 11. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- 12. SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT 13. CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE
- THROUGHOUT ENTIRE PROJECT. 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION
- WHETHER SHOWN OR NOT. 3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION. 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR
- CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY. 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAING ITEMS.
- 6. REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS
- 7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- · 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
- 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH NEW AS NOTED.
- 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

EXISTING CEILING GRID TO REMAIN. PAINT EXISTING GRID WHITE (SW PURE WHITE) EXISTING LAY IN LIGHT FIXTURE TO BE DEMOLISHED

EXISTING DOWNLIGHT TO BE REMOVED. EXISTING CEILING EQUIPMENT TO BE REMOVED. CONFIRM WITH CLIENT WHICH ELEMENTS TO BE STORED TO BE RE-INSTALLED

AND WHICH TO BE REPLACED. EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW FIXTURE. NEW FIXTURE TO MATCH EXISTING. OWNER

FURNISHED, OWNER INSTALLED. EXISTING ACOUSTICAL LAY-IN TILE CEILING. CEILING TILES TO BE REMOVED AND REPLACED WITH NEW TILE, REFER TO FINISH

SCHEDULE FOR CEILING TILE SPEC. POWERED RETRACTABLE PROJECTION SCREEN

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES TYPE A - INTERIOR NON-RATED 2X4 FRAMED INTERIOR PARTITION 2X6 FRAMED INTERIOR PARTITION A1.6 WALL TAG NEW COUNTER

(E) WALL

(N) WALL

S STOREFRONT REFER TO A-601 SIGN TAG

("###") DOOR TAG

(N) 2X4 ACT CEILING REFER TO

(E) 2X4 ACT CEILING

PHASE 2

09/27/2024 **PROJECT NUMBER** 3090-01-CU23

PROJECT MANAGER

DRAWN BY

SD, DDA, AK

DATE

RRM DESIGN GROUP COPYRIGHT 2024

RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

OBB

CITY H, ERNIZA

SIGN

NO. REVISION

 $1 \setminus |$ bid addendum 1

90755

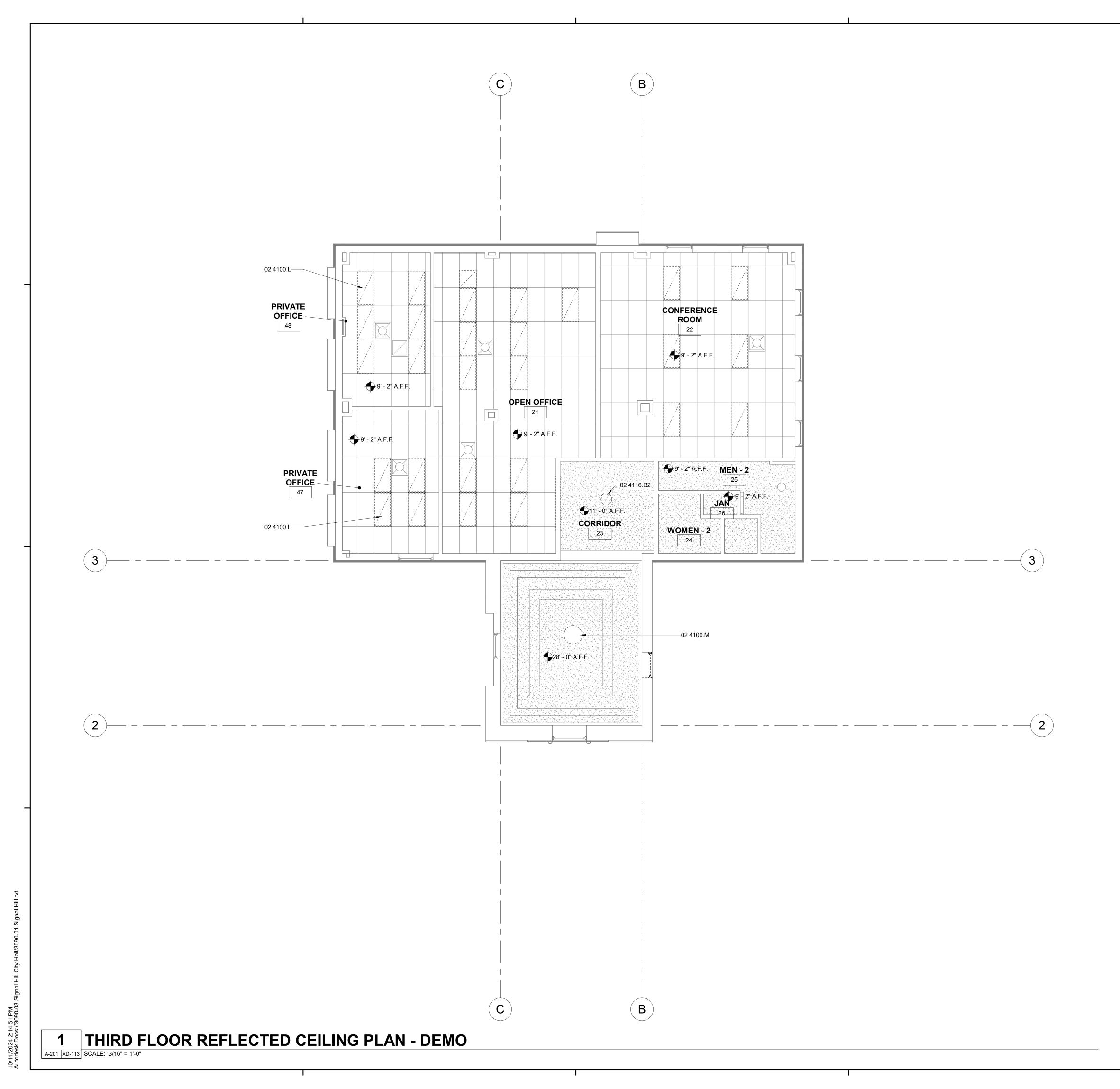
2175

S

CHECKED BY

DATE

10/11/24



- 1. REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION. 3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- 4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES. 5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH
- FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO. 6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH
- FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS. 7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO
- PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS 8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH
- 9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- 10. ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING
- LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION. 11. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- 12. SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT
- 13. CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- 3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION. 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY.
- 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAING ITEMS.
- REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- $\tilde{}$ 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO $\tilde{}$ DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE CONSTRUCTION. 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH
- NEW AS NOTED. 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

EXISTING LIGHT FIXTURE TO BE DEMOLISHED.

KEYNOTES

EXISTING LAY IN LIGHT FIXTURE TO BE DEMOLISHED EXISTING PENDANT FIXTURE TO BE DEMOLISHED

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES TYPE A - INTERIOR NON-RATED A1.4 2X4 FRAMED INTERIOR PARTITION 2X6 FRAMED INTERIOR PARTITION A1.6 WALL TAG NEW COUNTER (E) WALL "###" DOOR TAG PHASE 2 S STOREFRONT (N) WALL REFER TO A-601 (N) 2X4 ACT CEILING SIGN TAG REFER TO A-601 (E) 2X4 ACT CEILING



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

90755 LOBB CITY H, ERNIZA REFLEC N - DE/ L HILL (MODE OR PLA SIGN 2175

NO.	REVISION		DATE
	BID ADDENDU	M 1	10/11/24
PRO.	JECT MANAGER	R	
JP			
DRA	WN BY	CHECKED B	Y
SD, E	DDA, AK	JP	

09/27/2024 PROJECT NUMBER

3090-01-CU23

___02 4100.G_ ---02 4013.AR /-02 4116.AY DN 02 4116.AN-─02 4100.G ─02 4100.G -02 4013.AR **ENTRY WAY** 02 4013.AS— TYP. ∕—02 4013.C TYP.

ENLARGED LOBBY FLOOR PLAN - DEMO

A-201 AD-401 SCALE: 1/2" = 1'-0"

FLOOR PLAN GENERAL NOTES

- 1. REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS. 2. INTERIOR DIMENSIONS ARE TO FACE OF FINISH, AND CLEAR DIMENSIONS
- ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. 3. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS 4. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR

COORDINATION PURPOSES ONLY.

- 5. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- 6. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- 7. ALL INTERIOR WALLS TO BE PATCHED AS REQUIRED FROM DEMO WORK AND REMOVAL OF ALL EXISTING WALL COVERINGS. ALL WALLS TO BE RE-TEXTURED TO PROVIDE A CONSISTENT LEVEL 4 DRYWALL FINISH. ALL WALLS TO BE PAINTED P-1 U.O.N.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

OBB

MODI
Cherry Av

2175

SIGN

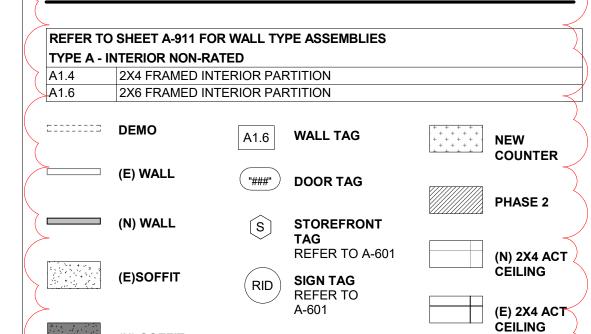
DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- 3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION. 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY.
- 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAING ITEMS.
- REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- 7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- 9. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG
- $\tilde{}$ 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO $\tilde{}$ DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION. 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS,
- CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION. 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE
- 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH
- NEW AS NOTED. 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

EXISTING STAIRS TO REMAIN. EXISTING MAILBOX TO REMAIN. WOOD TO BE RE-STAIND TO MATCH-NEW STAIN ON ADJACENT DOOR. EXISTING WALL TO REMAIN. EXISTING WINDOW TO BE DEMOLISHED, PREP WALL TO RECEIVE EXISTING RAILING TO BE DEMOLISHED AND PREP SITE TO BE REPLACED. EXISTING NICHE TO BE DEMOLISHED AND INFILLED. ALIGN NEW FINISH TO EXISTING. →02 4116.AY EXISTING RAILING TO BE DEMOLISHED 02 4116.AZ EXISTING INTERIOR GATE TO BE DEMOLISHED

LEGEND



NO. REVISION DATE BID ADDENDUM 1 10/11/24 PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

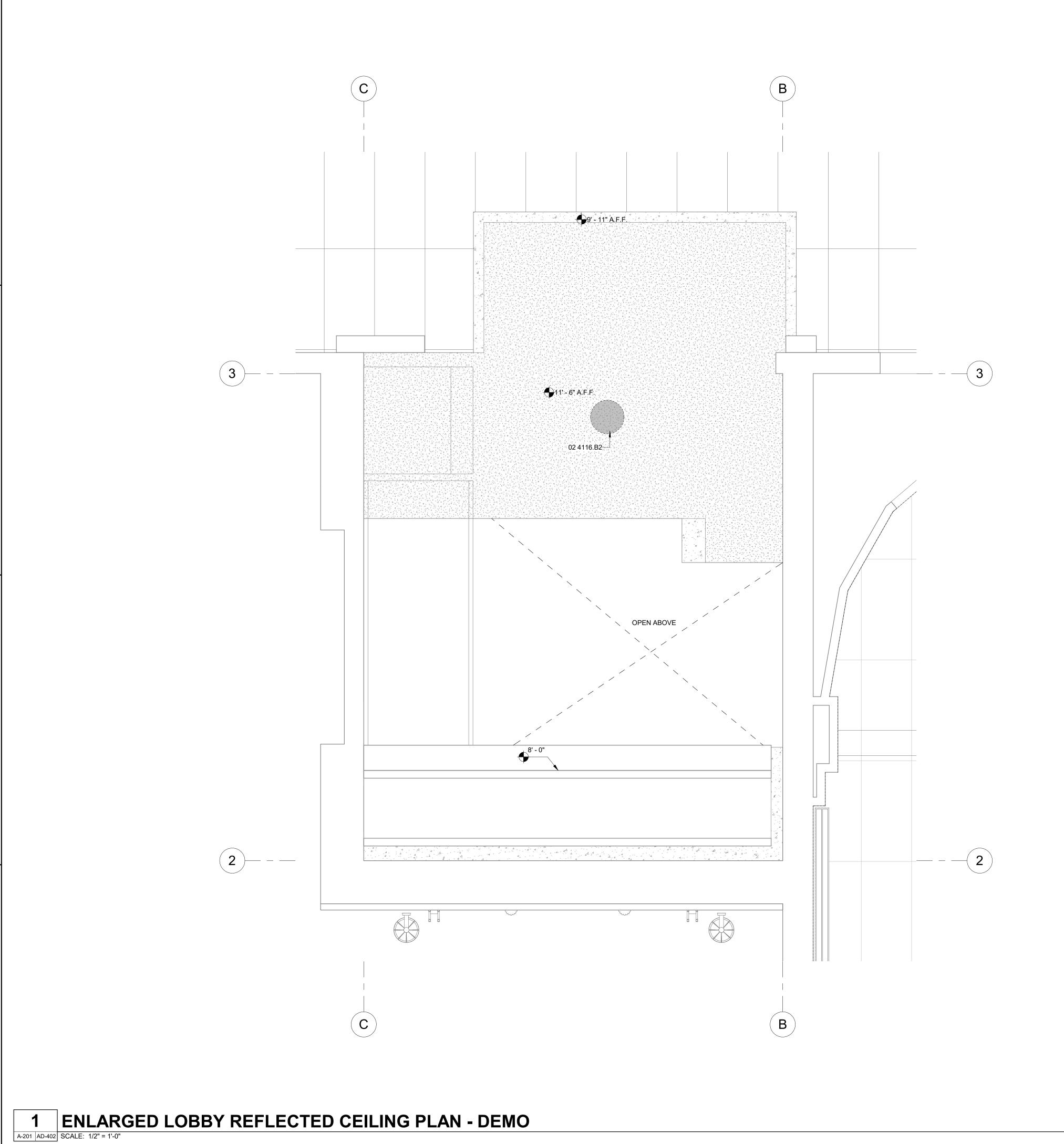
90755

OBBY

3090-01-CU23

09/27/2024

PROJECT NUMBER



- 1. REFER TO GENERAL NOTES SHEET G-XXX FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION. 3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- 4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES. 5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED
- CEILING PLAN, UNO. 6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED
- INCLUDING POP RIVETS AND TAPPETS. 7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO
- PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS 8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH
- 9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
- 10. ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL REFLECTED CEILING PLAN. ARCHITECT TO REVIEW CEILING
- LAYOUT INCLUDING BULKHEADS AND GRID PRIOR TO INSTALLATION. 11. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR SPRINKLER HEADS, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
- 12. SEE ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS, AND EXIT LIGHT 13. CONTRACTOR TO PAINT ALL EXISTING LAY-IN CEILING GRID PER SPEC.

DEMOLITION GENERAL NOTES

- 1. EXISTING BUILDING SHALL BE MAINTAINED WATER TIGHT AND DUST FREE THROUGHOUT ENTIRE PROJECT.
- 2. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONCTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- 3. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION. 4. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY.
- 5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND PROPERLY DISPOSE OF REMAING ITEMS.
- REMOVE AND/OR DEMOLISH ITEMS INDICATED. DEMOLISHED ITEMS SHALL BE REMOVED FROM THE SITE IMMEDIATELY BY CONTRACTOR UNLESS NOTED OTHERWISE.
- 7. ALL ITEMS TO REMAIN PROPERTY OF THE OWNER TO BE STORED ON SITE AS INDICATED BY THE OWNER
- 8. FIELD INSPECT DEMOLITION WORK PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- ALL TRADES.
- $\tilde{}$ 10. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO $\tilde{}$ DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION. 11. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROND CONDUITS,
- CONSTRUCTION.
- 12. MAINTAIN ALL EXISTING EXITING AND EGRESS FOR THE DURATION OF THE 13. PROTECT SMOKE DETECTORS, DOOR SENSORS AND WIFI ANTENNAS IN
- 14. CONTRACTOR TO REMOVE ALL LIGHTING FIXTURES AND REPLACE WITH
- 15. ALL SUPPLY AIR, RETURN AND EXHAUST REGISTERS/HGRILLES TO BE REMOVED AND REPLACED.

KEYNOTES

02 4116.B2 EXISTING LIGHT FIXTURE TO BE DEMOLISHED.

LEGEND

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES TYPE A - INTERIOR NON-RATED 2X4 FRAMED INTERIOR PARTITION 2X6 FRAMED INTERIOR PARTITION

(E) WALL (N) WALL

(E)SOFFIT

A1.6 WALL TAG "###" DOOR TAG

S STOREFRONT TAG REFER TO A-601

SIGN TAG REFER TO

PHASE 2 (N) 2X4 ACT CEILING

NEW COUNTER

DATE (E) 2X4 ACT CEILING

SD, DDA, AK

BID

THE INCLUDED DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS, SUBMITTAL OF THESE DOCUMENTS FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS. RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

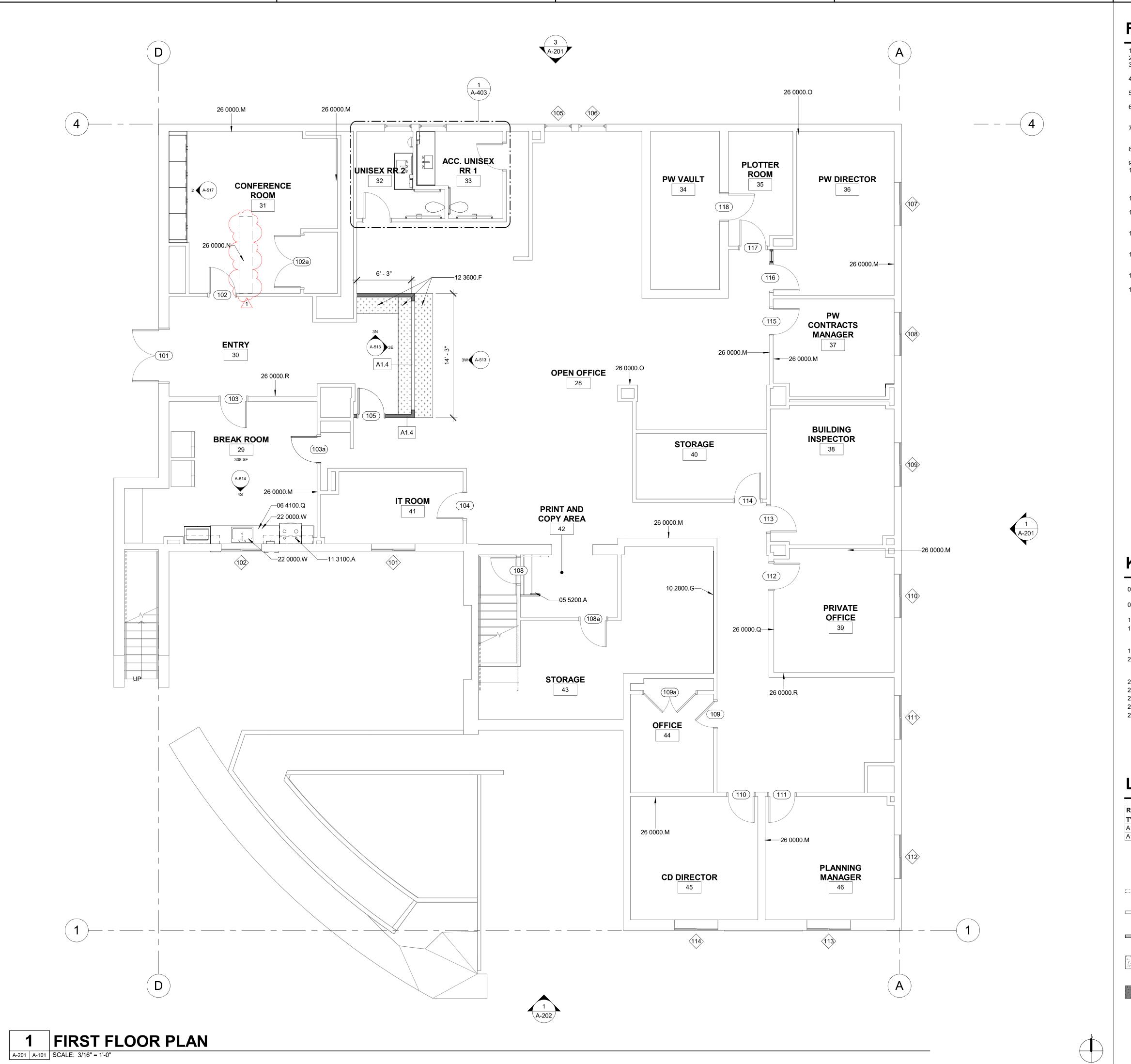
Hill, CA 90755 REFLECTED DEMO LOBB CITY HALL

ERNIZATION

Ve, Signal Hill, (LOBBY PLAN -2175 Chen, ENLARGED L CEILING SIGNAL

NO. REVISION DATE BID ADDENDUM 1 10/11/24 **PROJECT MANAGER** DRAWN BY CHECKED BY

09/27/2024 PROJECT NUMBER 3090-01-CU23



- 1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED. 3. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER
- INFORMATION, IF PROVIDED. 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF
- PROVIDED. 5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR
- COORDINATION PURPOSES ONLY. 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- 7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- 8. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC
- HEIGHT LIMITATIONS 9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
- 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING
- 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC.
- ARE RELOCATED. 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- 16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

OBB

SIGN

KEYNOTES

NEW DECORATIVE METAL RAILINGS. REFER TO A-601 AND FINISH SCHEDULE FOR MORE INFORMATION. NEW CABINETS AND COUNTERTOPS - REFER TO INTERIOR ELEVATIONS AND FINISH PLANS/SCHEDULE SEMI-RECESSED PAPER TOWEL DISPENSER NEW WHIRLPOOL 34" TALL RANGE WEE515SALS; CONTRACTOR FURNISHED AND INSTALLED. COORDINATE INSTALLATION WITH OWNER. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC. NEW RECEPTION COUNTER NEW BLANCO PRECIS UNDERMOUNT ADA SINK. CONTRACTOR FURNISHED, CONTRACTOR INSTALLED. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS PROVIDE TV WALL BOX FOR POWER AND DATA AT 5' BY OTHER TRENCH FOR DATA AND ALL CONDUITS RUN CONDUIT THROUGH WALL PROVIDE NEW BOX 26 0000.O PROVIDE RELOCATED POWER 26 0000.Q PLACE CONDUIT IN WALL AND BOX

LEGEND

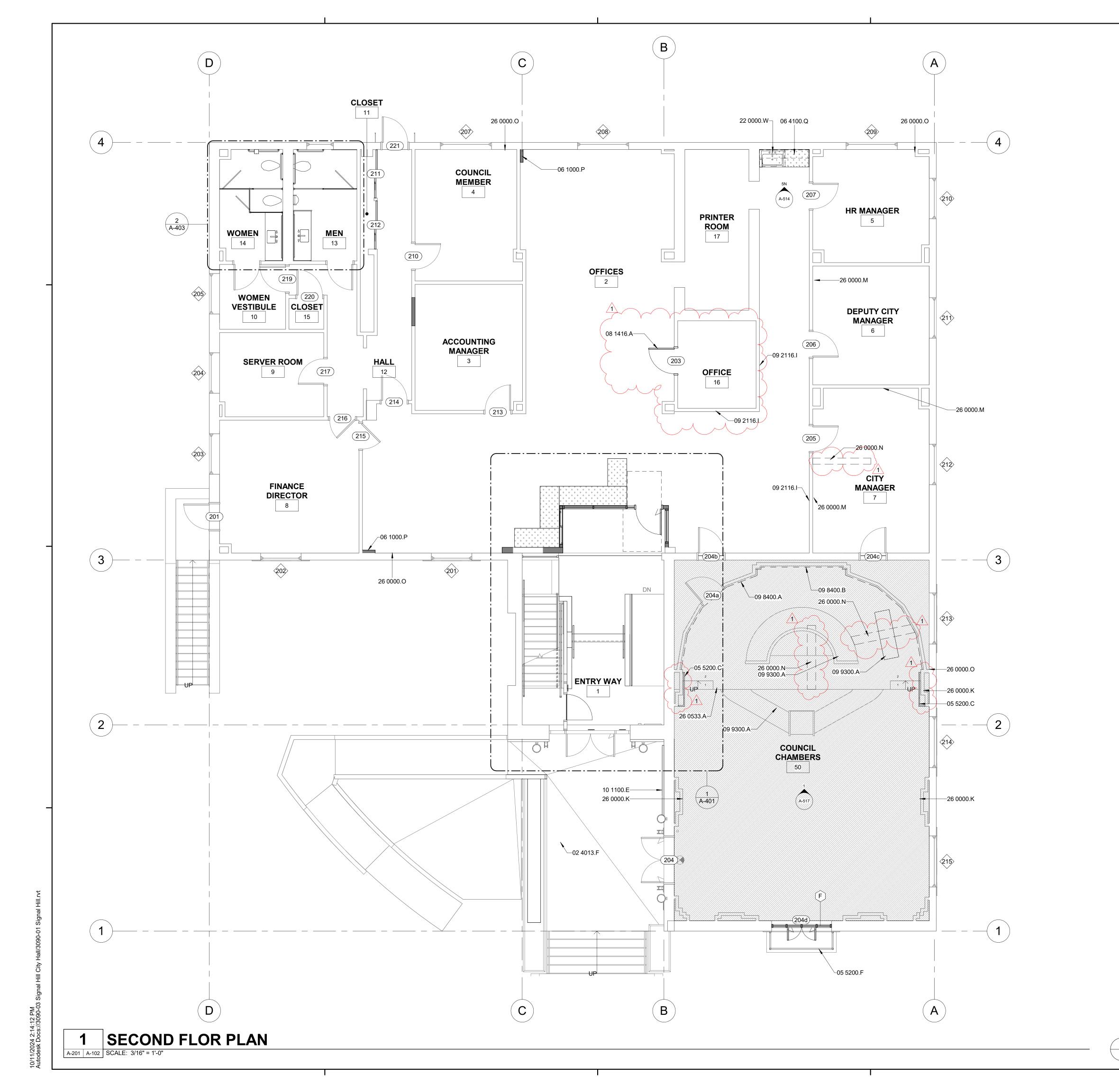
REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES TYPE A - INTERIOR NON-RATED A1.4 2X4 FRAMED INTERIOR PARTITION A1.6 2X6 FRAMED INTERIOR PARTITION DEMO COUNTER (E) WALL ("###") **DOOR TAG** PHASE 2 S STOREFRONT (N) WALL REFER TO A-601 (N) 2X4 ACT CEILING SIGN TAG REFER TO

CITY H, ERNIZA] ve, Signal FLO **FIRST** 217

NO. REVISION DATE $1 \setminus |$ BID ADDENDUM 1 10/11/24 PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK DATE 09/27/2024 **PROJECT NUMBER**

BID

(E) 2X4 ACT CEILING



- 1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
- 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
- 5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC
- HEIGHT LIMITATIONS 9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
- 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY
- OF PARTITION RATING 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS.
- CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC. ARE RELOCATED.
- 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- 16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

KEYNOTES

05 5200.C WOOD HANDRAIL. STAIN TO MATCH ADJACENT WOOD TOP FINISH. 05 5200.F NEW DECORATIVE RAILING TO MATCH EXISTING. 06 1000.P FURRING FOR WIRE MANAGEMENT NEW CABINETS AND COUNTERTOPS - REFER TO INTERIOR 06 4100.Q ELEVATIONS AND FINISH PLANS/SCHEDULE WOOD DOOR. REFER TO DOOR SCHEDULE. NEW GYPSUM WALL BOARD TO BE FINISHED AND PAINTED. NEW SOUND ABSORBTIVE PANELS - REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MORE INFORMATION. NEW SOUND ABSORBTIVE WOOD PANELS - REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MORE INFORMATION. EXISTING DIAS DESK AND FURNITURE TO BE RE-STAINED. REFER TO FINISH SCHEDULE FOR STAIN COLOR. VISUAL DISPLAY SIGNAGE PANEL 22 0000.W NEW BLANCO PRECIS UNDERMOUNT ADA SINK. CONTRACTOR FURNISHED, CONTRACTOR INSTALLED. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS ALL EXISTING SURFACE MOUNTED CONDUIT TO BE RELOCATE WITHIN WALL CAVITY OF CONUCIL CHAMBER ROOM. PATCH AND REPAIR DRYWALL AS REQUIRED. PROVIDE TV WALL BOX FOR POWER AND DATA AT 5' BY OTHER TRENCH FOR DATA AND ALL CONDUITS RUN CONDUIT THROUGH WALL PROVIDE NEW BOX PANDUIT ABOVE FLOOR RACEAAY BASE AND COVER. ARCHITECT 26 0533.A

TO SELECT FINISH COLOR.

EXISTING CONCRETE TO BE PROTECTED IN PLACE.

55 SIGN

NO.	REVISION	DATE
1	BID ADDENDUM 1	10/11/24
$\overline{\bigwedge}$		

 \sim

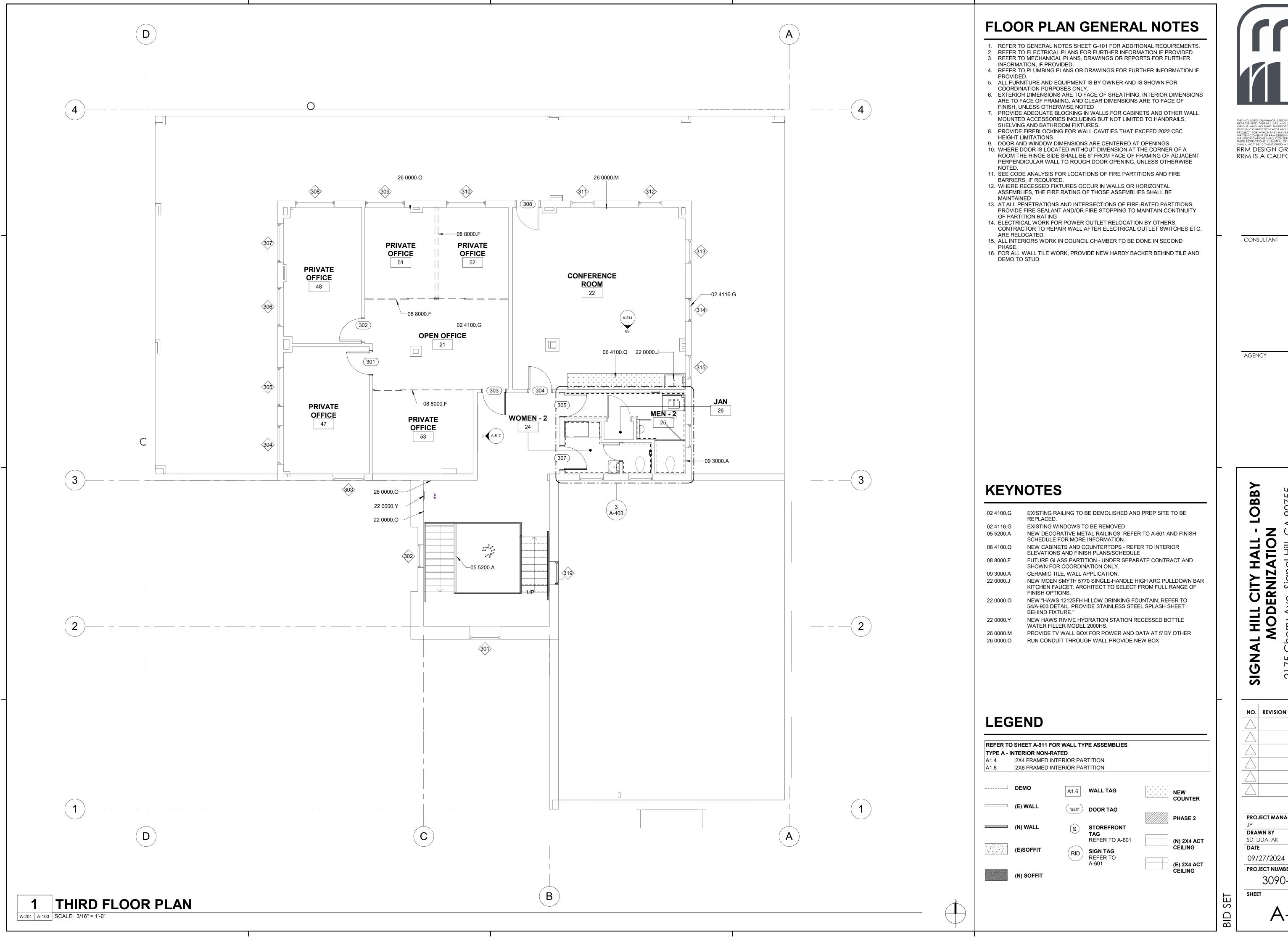
DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 **PROJECT NUMBER** 3090-01-CU23

BID

LEGEND

TYPE A - I	NTERIOR NON-I	RATED			
A1.4	2X4 FRAMED I	NTERIOR PAR	RTITION		
A1.6	2X6 FRAMED I	NTERIOR PAR	RTITION		
	DEMO	A1.6	WALL TAG	+ + + +	NEW
	(E) WALL	"###"	DOOR TAG		PHA:
	(N) WALL	S	STOREFRONT TAG REFER TO A-601		(N) 2
	(E)SOFFIT	RID	SIGN TAG REFER TO A-601		(E) 2
	(N) SOFFIT				CEI



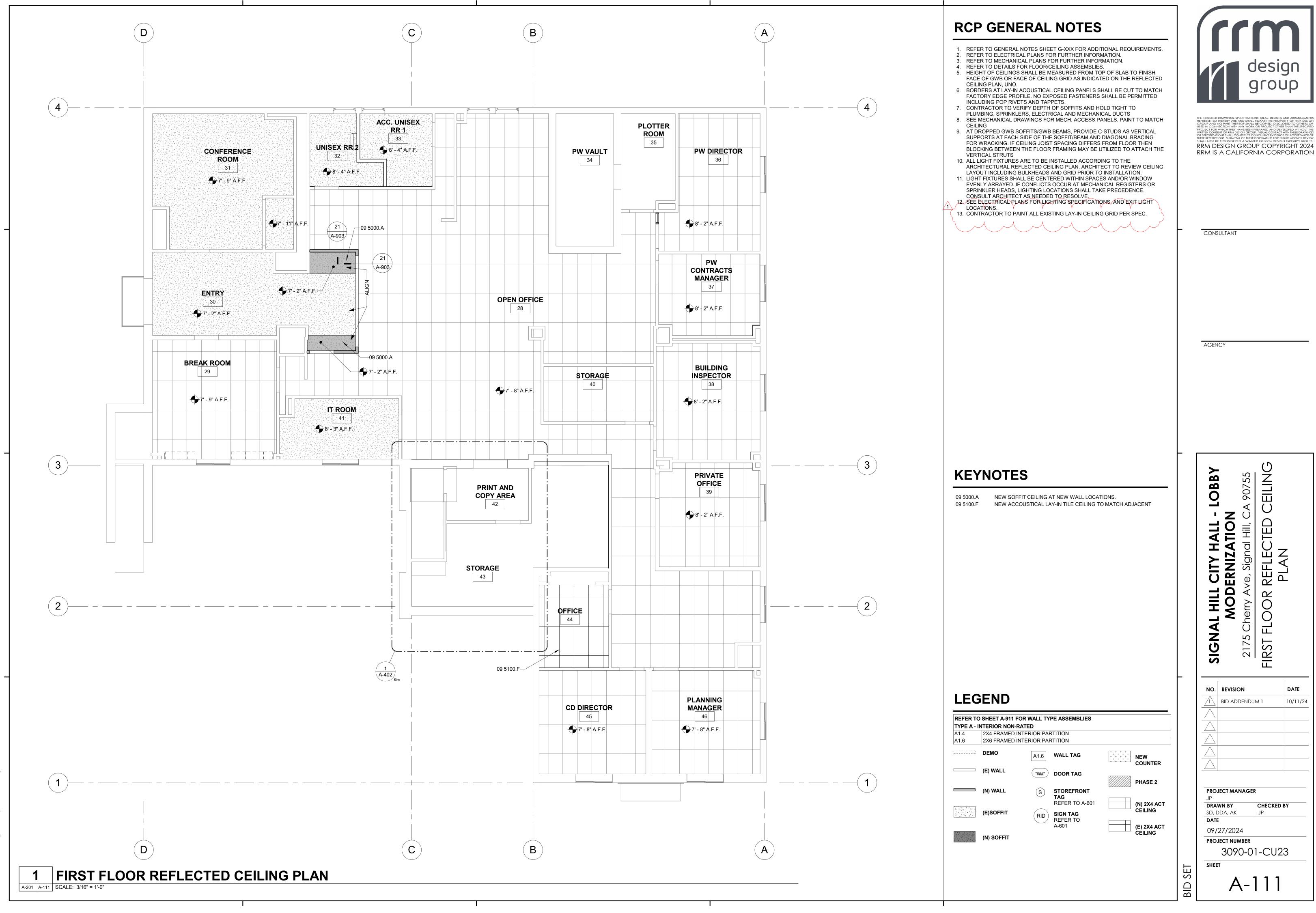
RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CITY H, ERNIZAI ve, Signal

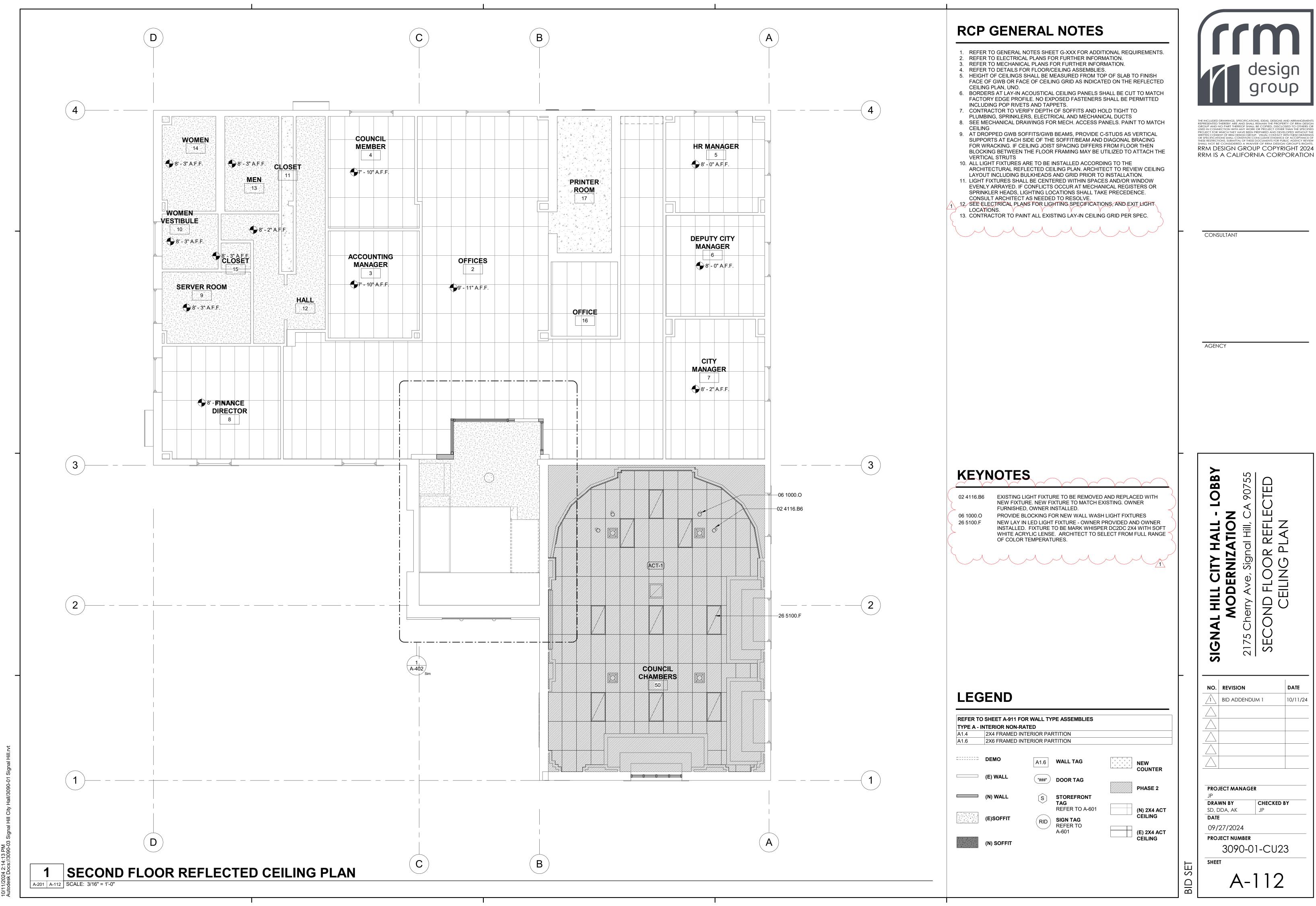
NO. REVISION PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

21

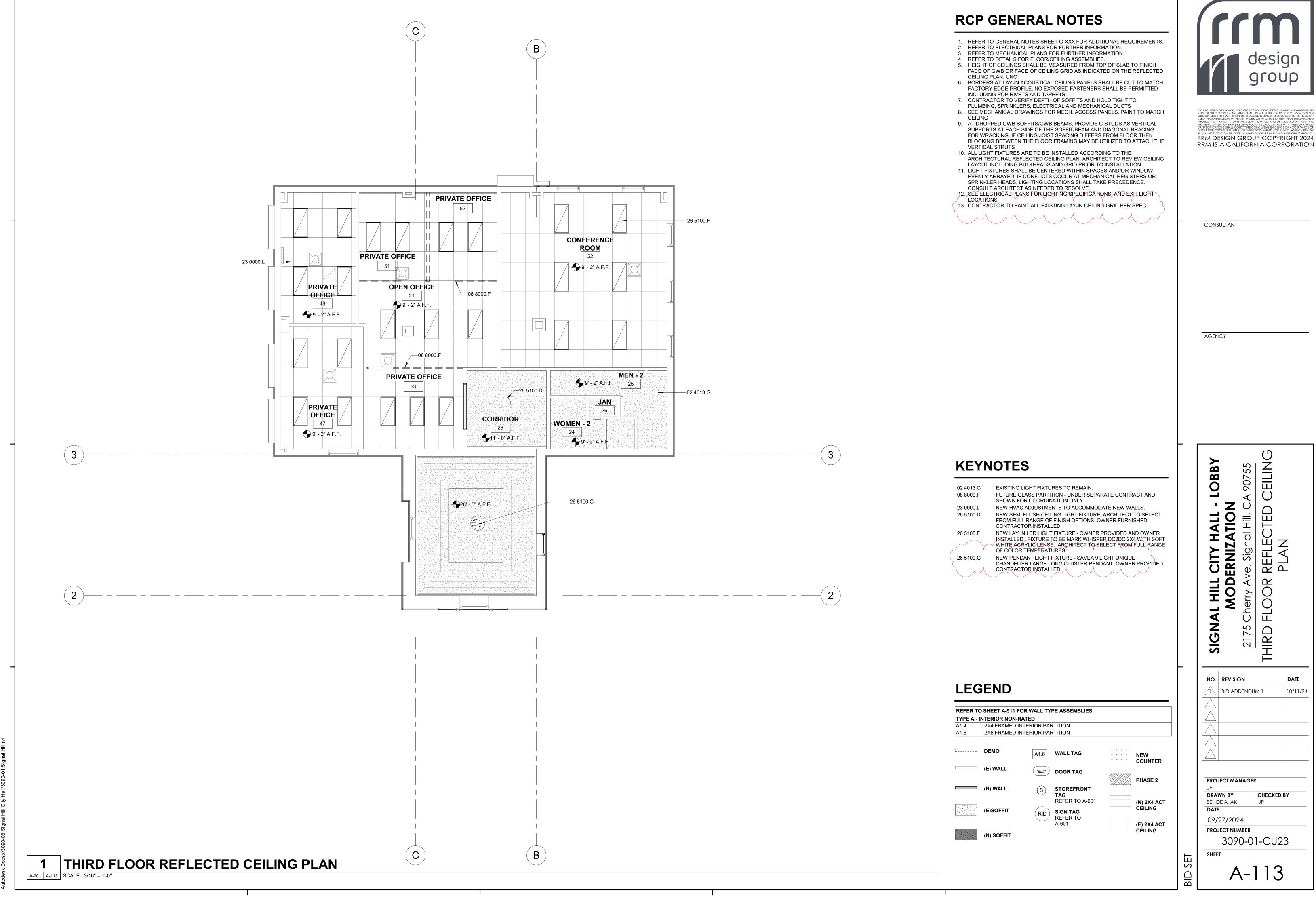
PROJECT NUMBER

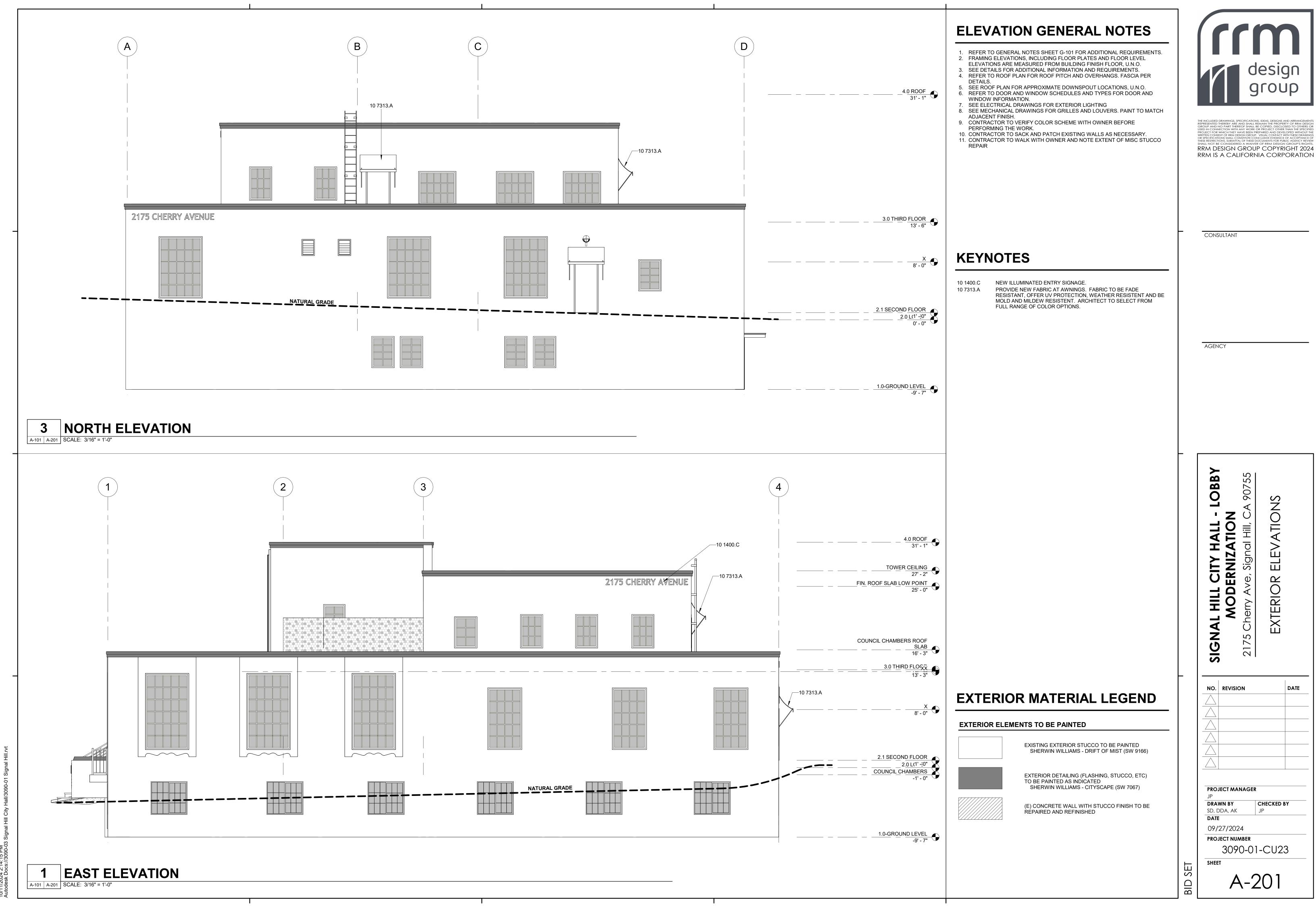


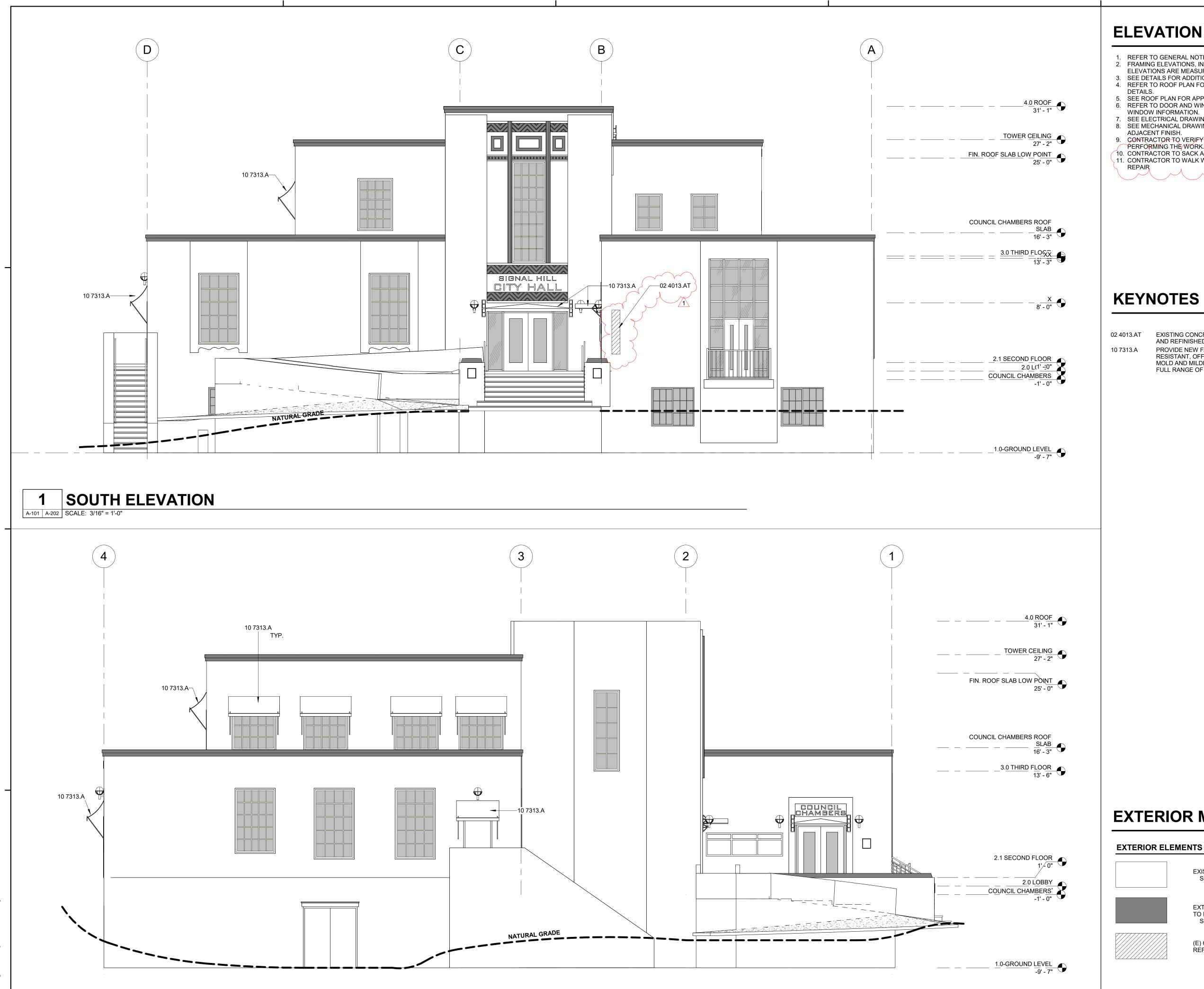
design



design







WEST ELEVATION

A-202 SCALE: 3/16" = 1'-0"

ELEVATION GENERAL NOTES

- 1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. 2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
- 3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS. FASCIA PER
- 5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O. 6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND
- WINDOW INFORMATION. 7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
- 8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS. PAINT TO MATCH
- 9. CONTRACTOR TO VERIFY COLOR, SCHEME WITH OWNER BEFORE PERFORMING THE WORK.
- 10. CONTRACTOR TO SACK AND PATCH EXISTING WALLS AS NECESSARY. 11. CONTRACTOR TO WALK WITH OWNER AND NOTE EXTENT OF MISC STUCCO



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

EXISTING CONCRETE WALL WITH STUCCO FINISH TO BE REPAIRED AND REFINISHED.

PROVIDE NEW FABRIC AT AWNINGS. FABRIC TO BE FADE RESISTANT, OFFER UV PROTECTION, WEATHER RESISTENT AND BE MOLD AND MILDEW RESISTENT. ARCHITECT TO SELECT FROM FULL RANGE OF COLOR OPTIONS.

AGENCY

90755 SIGNAL

21

NO. REVISION

1\ BID ADDENDUM 1

EXTERIOR

DATE

10/11/24

EXTERIOR MATERIAL LEGEND

EXTERIOR ELEMENTS TO BE PAINTED

EXISTING EXTERIOR STUCCO TO BE PAINTED SHERWIN WILLIAMS - DRIFT OF MIST (SW 9166)



EXTERIOR DETAILING (FLASHING, STUCCO, ETC) TO BE PAINTED AS INDICATED SHERWIN WILLIAMS - CITYSCAPE (SW 7067)

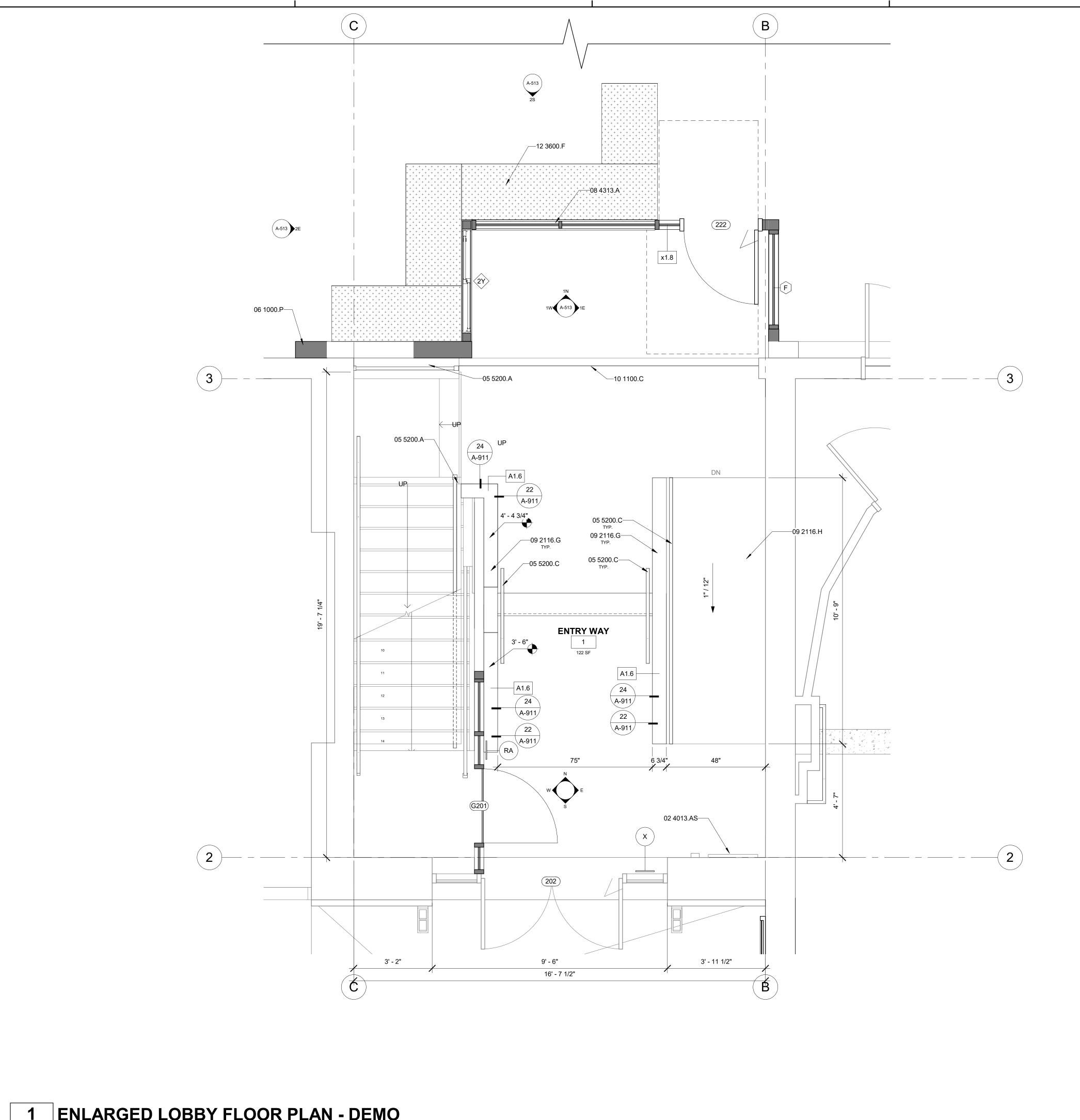
(E) CONCRETE WALL WITH STUCCO FINISH TO BE RÉPAIRED AND REFINISHED

DRAWN BY SD, DDA, AK

> 09/27/2024 PROJECT NUMBER 3090-01-CU23

PROJECT MANAGER

CHECKED BY



- 1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED. 3. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER
- INFORMATION, IF PROVIDED. 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF

 - 5. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- 7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- 8. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS
- 9. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY
- OF PARTITION RATING 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS. CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC.
- ARE RELOCATED. 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- 16. FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

KEYNOTES

EXISTING MAILBOX TO REMAIN. WOOD TO BE RE-STAIND TO MATCH NEW STAIN ON ADJACENT DOOR. NEW DECORATIVE METAL RAILINGS. REFER TO A-601 AND FINISH

SCHEDULE FOR MORE INFORMATION. WOOD HANDRAIL. STAIN TO MATCH ADJACENT WOOD TOP FINISH. FURRING FOR WIRE MANAGEMENT ALUMINUM STOREFRONT SYSTEM - REFER TO SCHEDULES.

WOOD WALL CAP FINISH. ARCHITECT TO SELECT SATIN AND FINISH FILL IN (E) NICHE WITH NEW FRAMING AND GYPSUM BOARD. GYPSUM BOARD TEXTURE AND FINISH TO MATCH (E).

WALL MOUNTED ART. OWNER PROVIDED - COORDINATE INSTALL

NEW RECEPTION COUNTER

55 OBB CITY HALL ERNIZATION OBBY ENLARGED SIGN 21

NO.	REVISION	DATE

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 **PROJECT NUMBER** 3090-01-CU23

BID

COUNTER

PHASE 2

(N) 2X4 ACT CEILING

(E) 2X4 ACT

LEGEND

12 3600.F

REFER TO SHEET A-911 FOR WALL TYPE ASSEMBLIES TYPE A - INTERIOR NON-RATED A1.4 2X4 FRAMED INTERIOR PARTITION

A1.6 2X6 FRAMED INTERIOR PARTITION

DEMO (E) WALL (N) WALL

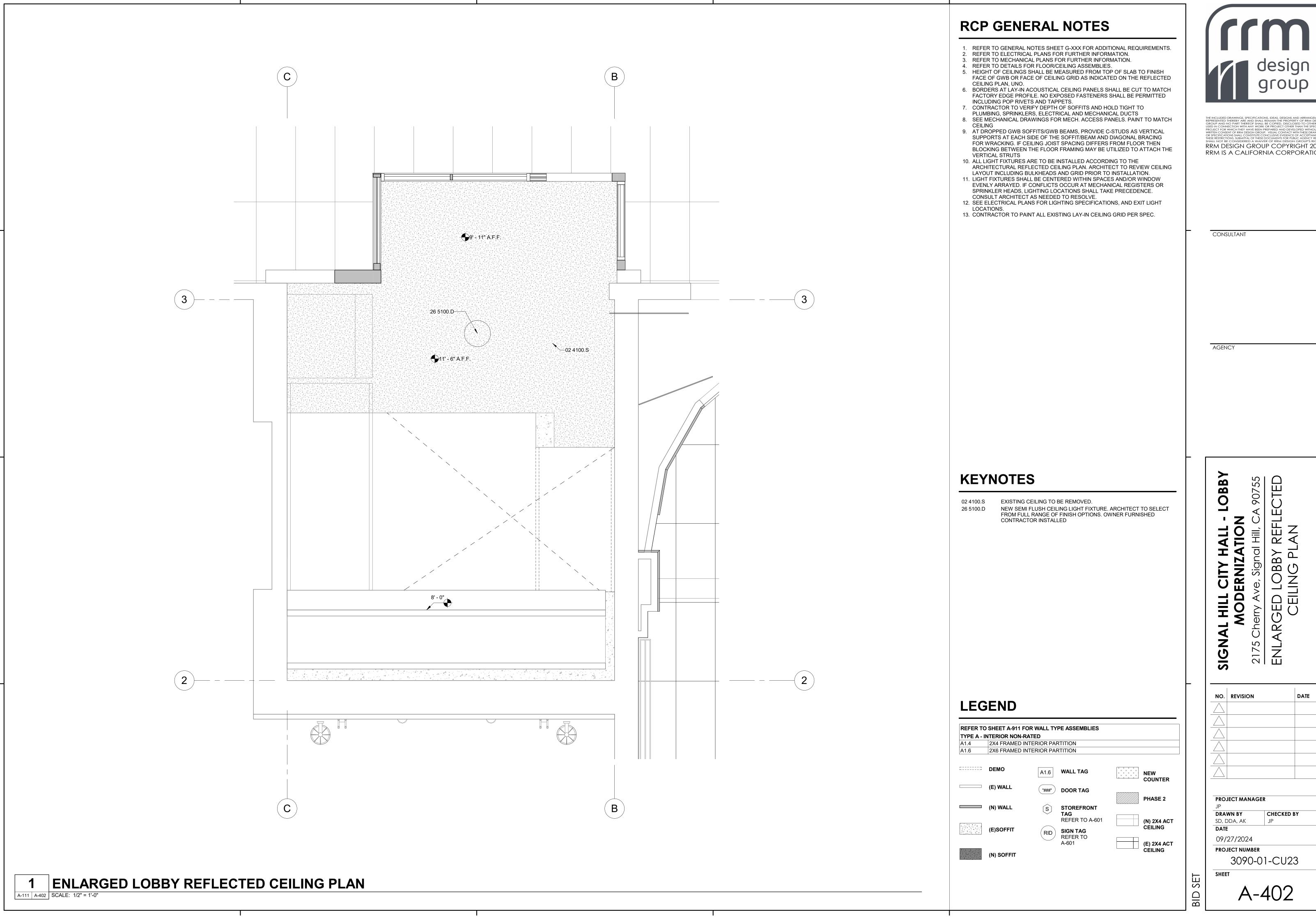
S STOREFRONT

TAG REFER TO A-601 RID SIGN TAG REFER TO

A1.6 WALL TAG

"###" DOOR TAG

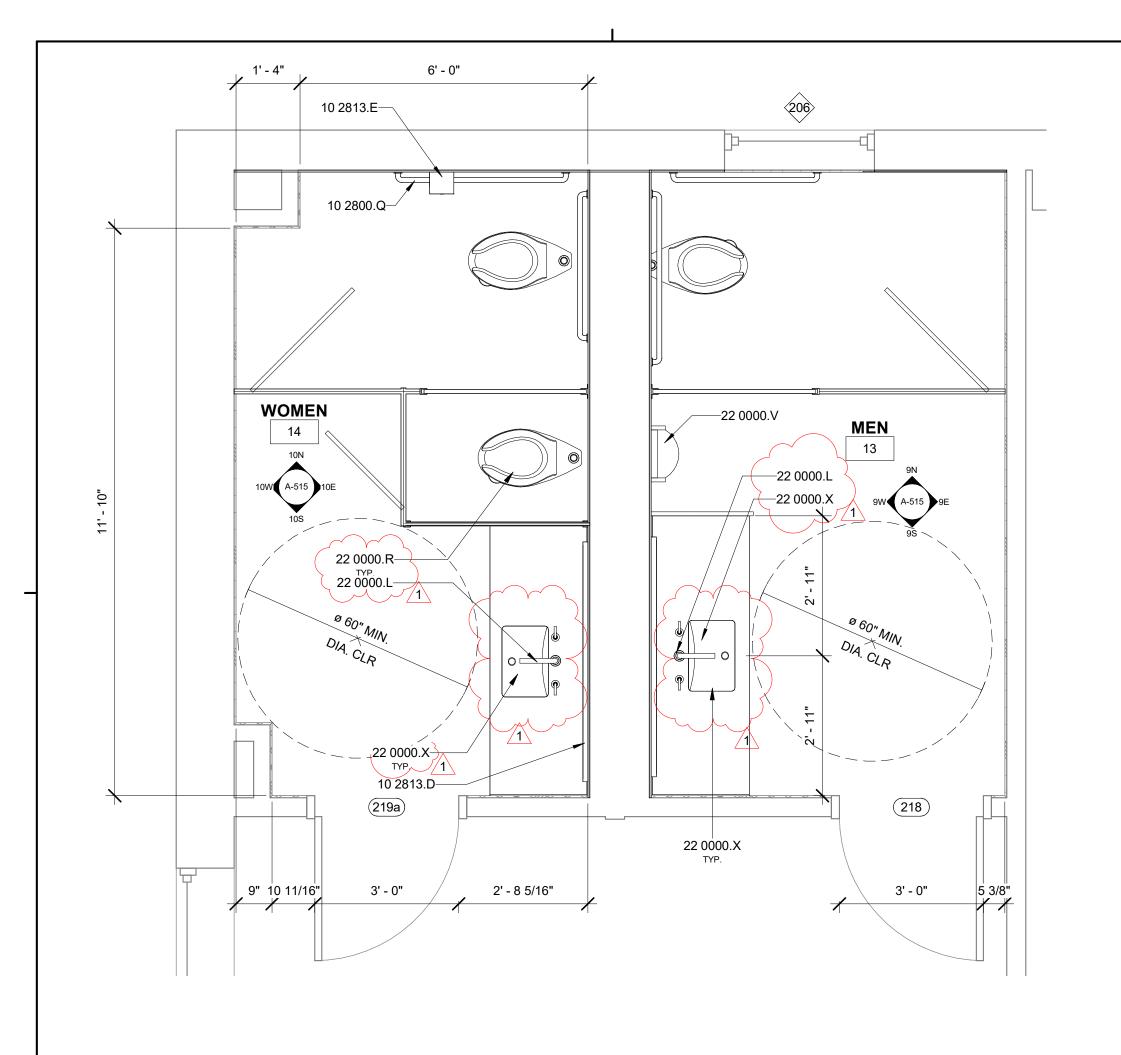
ENLARGED LOBBY FLOOR PLAN - DEMO A-102 A-401 SCALE: 1/2" = 1'-0"

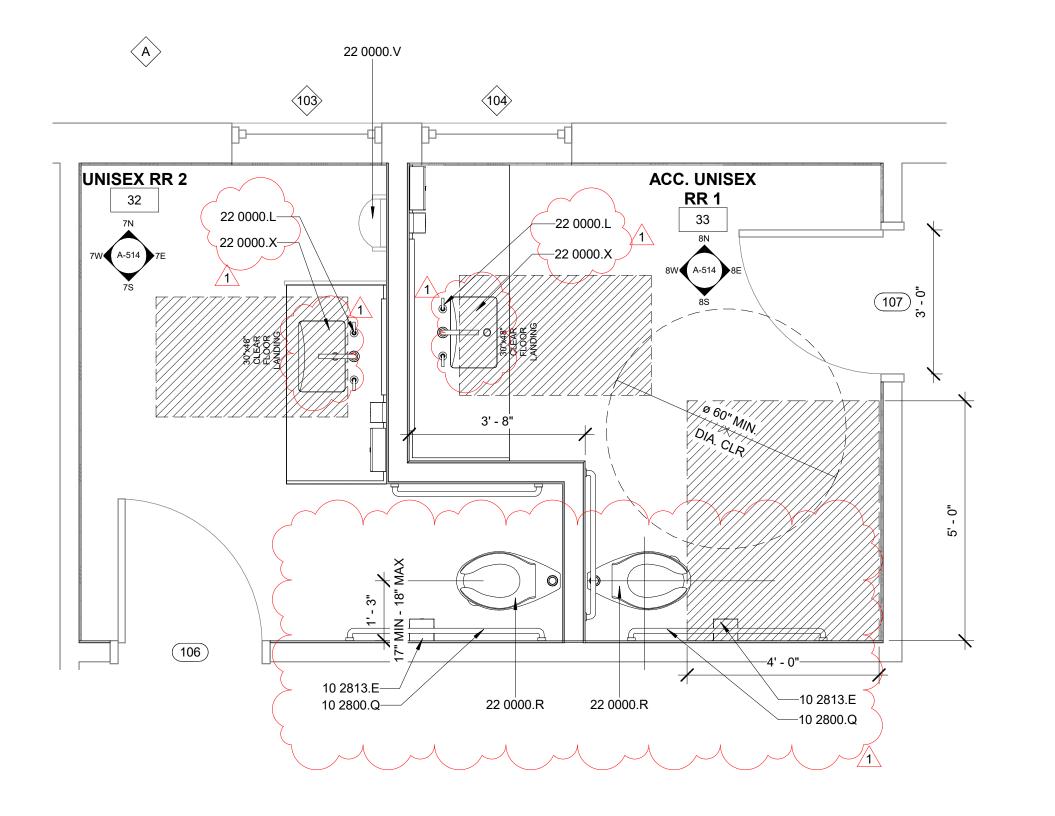


RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

PROJECT NUMBER 3090-01-CU23

CHECKED BY





- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
 REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
 REFER TO MECHANICAL PLANS. DRAWINGS OR REPORTS FOR FURTHER
- REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION, IF PROVIDED.
 REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF
- 4. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION PROVIDED.
- ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
- 6. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
 - PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2022 CBC HEIGHT LIMITATIONS
 DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
- 10. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM THE HINGE SIDE SHALL BE 6" FROM FACE OF FRAMING OF ADJACENT PERPENDICULAR WALL TO ROUGH DOOR OPENING, UNLESS OTHERWISE NOTED.
- 11. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS, IF REQUIRED.
- 12. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE
- 13. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY
- OF PARTITION RATING

 14. ELECTRICAL WORK FOR POWER OUTLET RELOCATION BY OTHERS.

 CONTRACTOR TO REPAIR WALL AFTER ELECTRICAL OUTLET SWITCHES ETC.
- ARE RELOCATED.

 15. ALL INTERIORS WORK IN COUNCIL CHAMBER TO BE DONE IN SECOND
- FOR ALL WALL TILE WORK, PROVIDE NEW HARDY BACKER BEHIND TILE AND DEMO TO STUD.



REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RRM DESIGN GROUP AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF RRM DESIGN GROUP. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. SUBMITTAL OF THESE DOCUMENTS FOR PUBLIC AGENCY REVIEW SHALL NOT BE CONSIDERED A WAIVER OF RRM DESIGN GROUP'S RIGHTS.

RRM DESIGN GROUP COPYRIGHT 2024

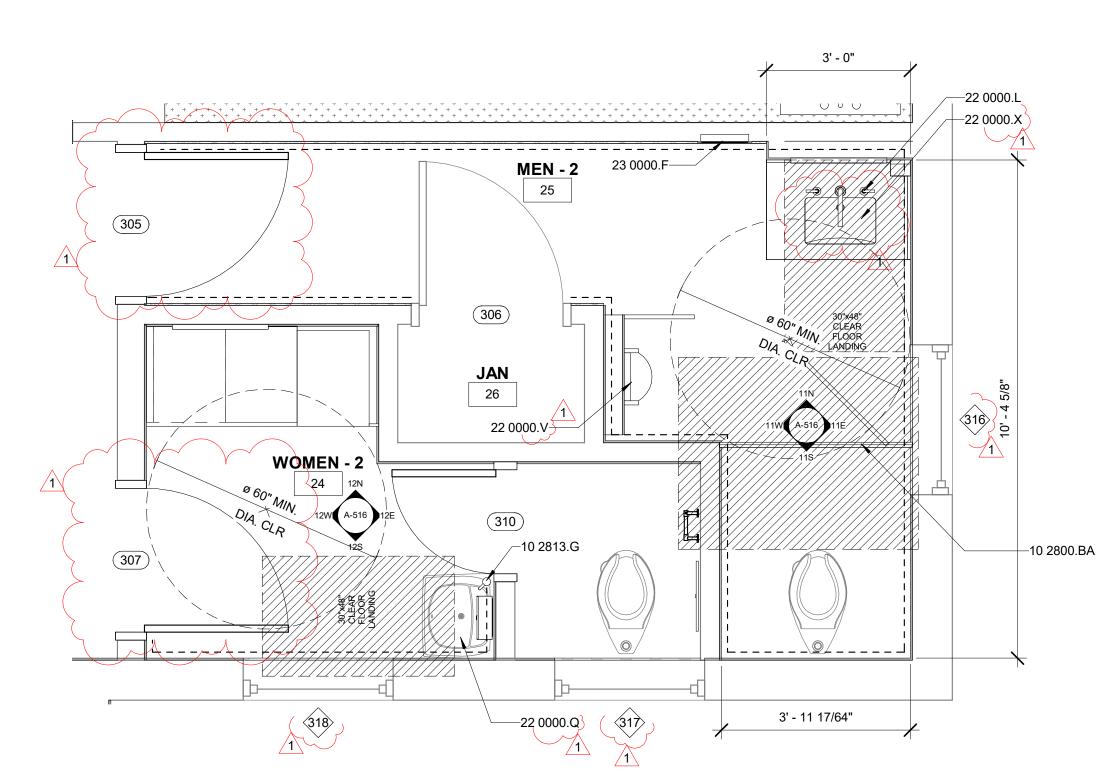
RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

2 ENLARGED SECOND FLOOR RESTROOMS

1 ENLARGED FIRST FLOOR RESTROOMS



3 ENLARGED THIRD FLOOR RESTROOMS

A-103 A-403 SCALE: 1/2" = 1'-0"

KEYNOTES

$(\mid$	10 2800.BA	TOILET PARTITION
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	10 2800.Q	NEW BOBRICK B-6806 SERIES 36" AND 42" GRAB BAR.
	10 2813.D	BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE.
	10 2813.E	BOBRICK SURFACE-MOUNTED DISPENSER AND UTILITY SHELF B-540.
	10 2813.G	SINK MOUNTED SOAP DISPENSER
	22 0000.L	NEW MOEN DARTMOOR LAVATORY FAUCET. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS
	22 0000.Q	NEW KOHLER SOHO K-2053-N SINK WITH MATCHING VITRIOUS CHINA PIPE COVER AND UNDERMOUNT. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC.
	22 0000.R	NEW TOTO COMMERCIALLY RATED FLOOR MOUNTED ULTRA HIGHT EFFICIENCY TOILET. INSTALL PER MANUFACTURERS INSTRUCTIONS.
	22 0000.V	NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICINECY WALL HUNG URINAL. WATERLINE TO BE UPDATED.
\	22 0000.X	KOHLER LADENA K-2214 SINK AS SHOWN ON PLANS. ARCHITECT TO

EXHAUST FAN ELECTRICAL TO TIE INTO LIGHTSWITCH

PROVIDE CLIENT APPROVED SPEC.

SIGNAL HILL CITY HAL MODERNIZATIC 2175 Cherry Ave, Signal Hill

ARGED

90755

OBB

ECEND

TVDF A	INTERIOR NON-F	• • • • • • • • • • • • • • • • • • • •	PE ASSEMBLIES		
A1.4	2X4 FRAMED I		RTITION		
A1.6	2X6 FRAMED I	NTERIOR PAR	RTITION		
=======================================	DEMO	A1.6	WALL TAG	+ + + + + + + + + + + + + + + + + + +	NEW COUNTER
	(E) WALL	("###")	DOOR TAG		PHASE 2
	(N) WALL	S	STOREFRONT TAG REFER TO A-601		(N) 2X4 A
	(E)SOFFIT	RID	SIGN TAG REFER TO A-601		CEILING (E) 2X4 A

NO. REVISION

DATE

10/11/24

PROJECT MANAGER

JP

DRAWN BY

SD, DDA, AK

DATE

09/27/2024

PROJECT NUMBER

3090-01-CU23

SHEET

BID

A-403

- 1. REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS. 2. INTERIOR DIMENSIONS ARE TO FACE OF FINISH, AND CLEAR DIMENSIONS
- ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. 3. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
- 4. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY. 5. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING; INTERIOR DIMENSIONS
- ARE TO FACE OF FRAMING, AND CLEAR DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED
- 6. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- 7. ALL INTERIOR WALLS TO BE PATCHED AS REQUIRED FROM DEMO WORK AND REMOVAL OF ALL EXISTING WALL COVERINGS. ALL WALLS TO BE RE-TEXTURED TO PROVIDE A CONSISTENT LEVEL 4 DRYWALL FINISH. ALL WALLS TO BE PAINTED P-1 U.O.N.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

90755 LOBB LEVEL FINISH SIGNAL

2175

NO. REVISION

FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

NEW LVT (BY OTHERS) NEW CARPET TILE (BY OTHERS)

NEW FLOOR TILE

STAINLESS STEEL CORNER GUARD

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

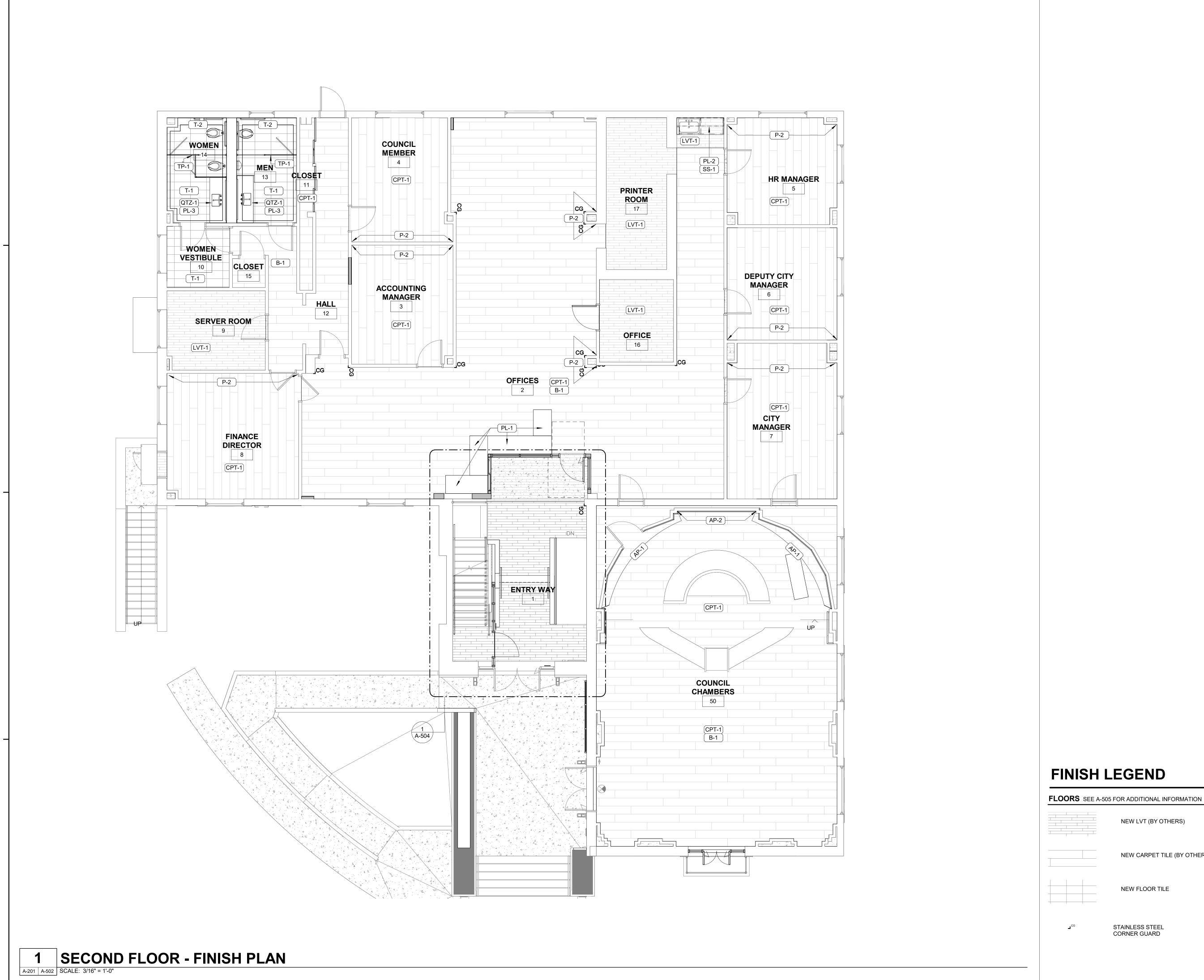
09/27/2024 PROJECT NUMBER 3090-01-CU23

A-501

FIRST FLOOR - FINISH PLAN

A-201 | A-501 | SCALE: 3/16" = 1'-0"

BID SET





RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

90755 LOBB LEVEL FINISH

2175

NO. REVISION

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

NEW LVT (BY OTHERS)

NEW FLOOR TILE

STAINLESS STEEL CORNER GUARD

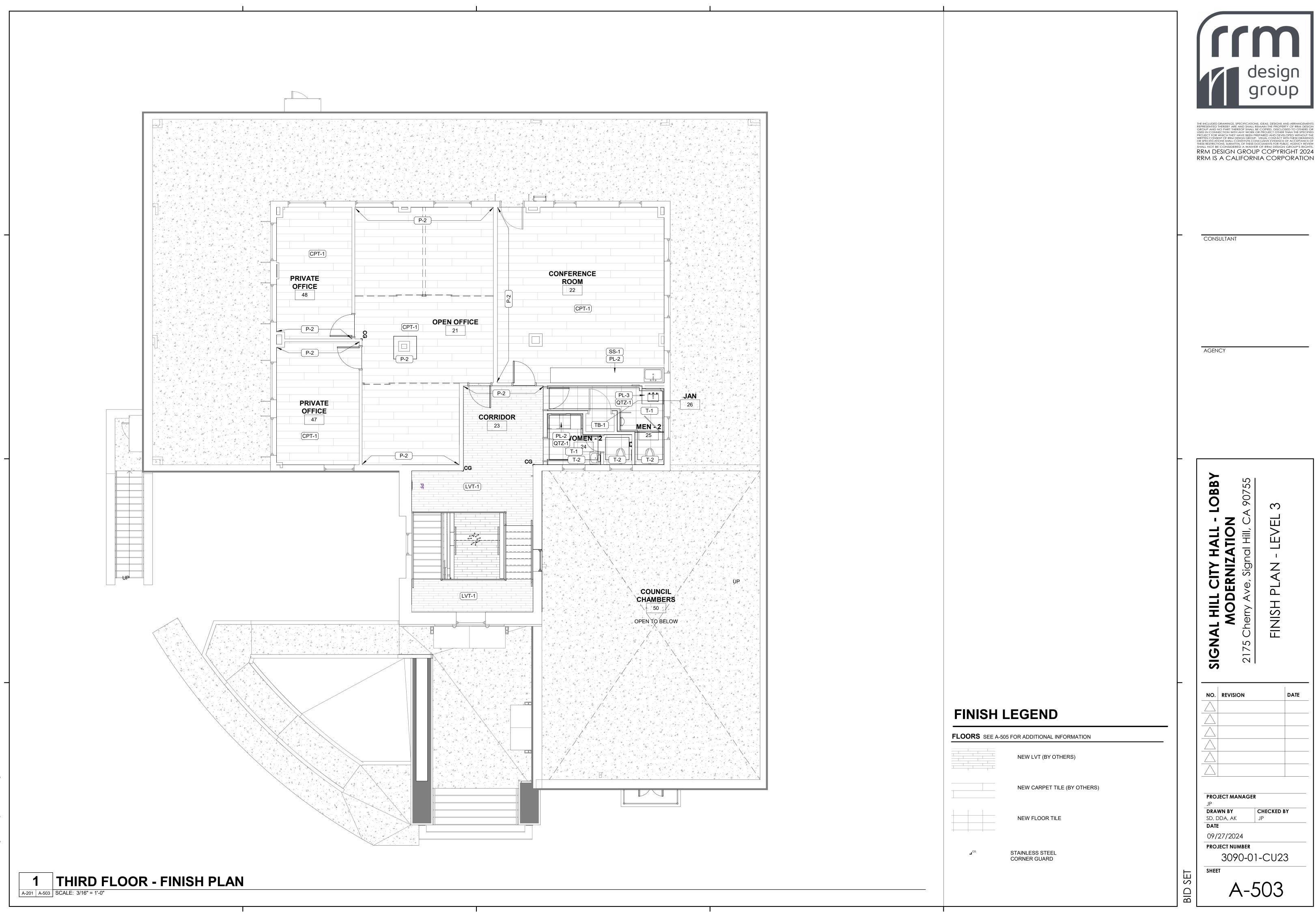
NEW CARPET TILE (BY OTHERS)

09/27/2024 PROJECT NUMBER

3090-01-CU23

BID SET

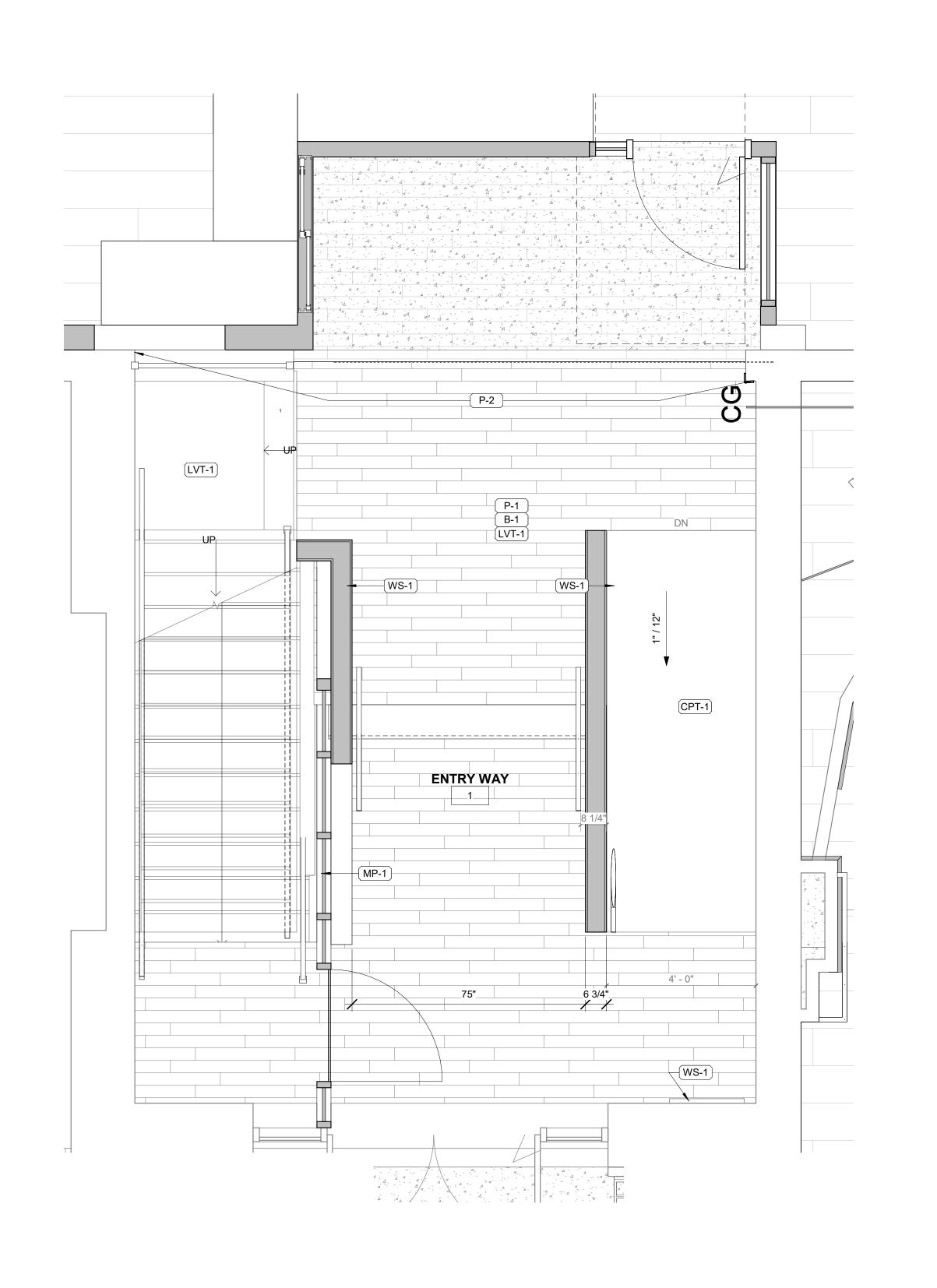
A-502



RRM DESIGN GROUP COPYRIGHT 2024

LEVEL FINISH

CHECKED BY





RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

SIGNAGE LEGEND

A DOOR-MOUNTED SIGN WITH PICTOGRAM

B RESTROOM WALL SIGN WITH ISA PICTOGRAM

X ILLUMINATED EXIT SIGN

FINISH REQUIREMENTS

PER **2022 CBC 803.13** INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO 2022 CBC SEC. 803 FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (CBC 2022 TABLE 803.13)

DEGREE OF FIRE PROTECTION: SPRINKLERED

GROUP	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	В	В	С
A-3,A-4,A-5	В	В	С
B,E,M,R-1	В	С	С
R-2	С	С	С
R-2.1	В	С	С
R-2.2	С	С	С
R-3, R-3.1	С	С	С
S	С	С	С

CLASSIFICATIONS CLASS A:

- FLAME SPREAD INDEX = 0-25 CLASS C:
 SMOKE DEVELOPED INDEX = 0-450
 FLAME SPREAD INDEX = 76-200
- SMOKE DEVELOPED INDEX = 0-450
- FLAME SPREAD INDEX = 26-75
 SMOKE DEVELOPED INDEX = 0-450

FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

NEW LVT (BY OTHERS) NEW CARPET TILE (BY OTHERS) **NEW FLOOR TILE** STAINLESS STEEL CORNER GUARD

90755 LOBB FINISH CITY HALL

ERNIZATION

ve, Signal Hill. LOBBY ENLARGED SIGNAL 2175

NO. REVISION

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK 09/27/2024 PROJECT NUMBER 3090-01-CU23

SET BID

GROUND FLOOR PLAN A-201 A-504 SCALE: 1/2" = 1'-0"

INTERIOR FINISH SCHEDULE

INTERIOR FINISH SCHEDULE							
Category Number	er Description	Location	Manufacturer	Product Spec.	Size	Color	Notes
05 7543 - DECORATIVE I	METAL PANELS						
05 7543 - DECORATIVE METAL PANELS	METAL PANEL	STAIR GUARD RAIL AND GATE PANEL	REVAMP PANEL SYSTEM	CUSTOM PATTERN		ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS	OPENINGS IN GUARD RAIL PATTERN NOT TO EXCEED 4" IN WIDTH AND HEIGHT.
06 4023.10 - PLASTIC LA							
06 4023.10 - PL-1 PLASTIC LAMINATE	PLASTIÇ LAMINATE	1ST AND 2ND LEVEL PUBILC FACING COUNTERS	PIONITE		\ 	COOL AUTUMN NIGHT (WT880-SD)	
06 4023.10 - PL-2 PLASTIC LAMINATE	PLASTIC LAMINATE	BREAK AREA CASEWORK	WILSONART			MUSHROOM (5013K-19)	
06 4023.10 - PL-3 PLASTIC LAMINATE	PLASTIC LAMINATE	RESTROOM CASEWORK	WILSONART			NIGHTFALL (5023-K-19)	
09 3000 - TILING							
09 3000 - T-1 TILING	CERAMIC FLOOR TILE	RESTROOMS	DALTILE	DIGNITARY	12" X 24"	EMINENCE GREY	1/3 OFFSET INSTALLATION WITH MINIMAL (1/8" MAX) GROUT JOINTS. USE SCHLUTER DILEX AHK COVE BASE FOR FLOOR TO WALL TRANSITION
09 3000 - T-2 TILING	CERAMIC WALL TILE	RESTROOMS	MARAZZI TILE	RHYME AND REASON - HEXAGON RIPPLE MIX	4" X 5" HEXAGON	RANDOM MIX IN CANVAS (60%), INDIGO (20%) AND WARM TERRACOTTA (20%)	INSTALL WITH MINIMAL (1/8" MAX) GROUT JOINTS. USE SCHLUTER DILEX-AHK COVE BASE IN WALL TO FLOOR TRANSITION. USE SCHLLUTER JOLLY AT ALL EXPOSED WALL TILE EDGES AND SCHLUTER FINEC-SQ AT OUTSIDE WALL CORNER TRANSITIONS.
09 3000 - TB-1 TILING	CERAMIC TILE BASE	JANITOR CLOSETS	DALTILE	DIGNITARY	6" X 24"	EMINENCE GREY	INSTALL WITH MINIMAL (1/8" MAX) GROUT JOINTS. USE SCHLUTER DILEX AHK COVE BASE FOR FLOOR TO WALL TRANSITION
09 5100 - ACOUSTICAL (A.D. 10-5 2::-				
09 5100 - ACT-1 ACOUSTICAL CEILINGS	ACOUSTICAL CEILING TILE	COUNCIL CHAMBERS	ARMSTRONG	CALLA HIGH NRC SQUARE LAY IN TEGULAR	2' X 4'	WHITE (2848)	BASE BID: EXISTING GRID TO REMAIN. PAINT EXISTING GRID WHITE. ADD ALT: INSTALL NEW GRID. SHALL BE 9/16" SUPRAFINE GRID.
09 6500 - RESILIENT FLO							
09 6500 - B-1 RESILIENT FLOORING	GENERAL BASE	GENERAL RUBBER BASE	MOHAWK		4" H	SMOKE (955)	ROLLED GOODS OWNER ALREADY HAS MATERIAL IN HAND. PROVIDE INSTALL PRICE ONLY.
09 6500 - LVT-1 RESILIENT FLOORING	LUXURY VINYL TILE	LOBBY, STAIRS AND RAMP	MOHAWK			LARGE AND LOCAL (CO128) WOODY (978)	PROVIDE 1/8" STAIR NOSING IN 063 BUFF COLOR. OWNER ALREADY HAS MATERIAL IN HAND. PROVIDE INSTALL PRICE ONLY.
09 6813 - TILE CARPETII		TOPE DI ANO	14011414	1	400.24.400		
09 6813 - TILE CPT-1 CARPETING	CARPET TILE	SEE PLANS	MOHAWK		12" X 48"	BEYOND TILE -SLOPE (15518)	ECOWORX TILE BACKING. OWNER PROVIDED, CONTRACTOR INSTALLED.
09 8413 - FIXED SOUND 09 8413 - AP-1	SOUND ABSORBANT	COUNCIL CHAMBERS	CONWED	FABRIC HI PANELS	5' X 10'	WITH GUILFORD OF MAIN FABRIC Fr701 IN COLOR - WHITE. ARCHITECT TO SELECT FROM FULL RANGE OF COLORS	INSTALL PANELS WITH Z BAR SO THAT PANELS ARE REMOVABLE. FABRIC PANELS ARRANGEMENT TO MIMIC LAYOUT SHOWI
FIXED SOUND ABSORPTIVE PANELS	PANELS	OGGINGIE GI II WIBEING	OOIWLD	TABINO TITTANLES	1	WITT GOLE ON THE STATE OF THE S	IN INTERIOR ELEVATIONS. PANEL NRC TO BE 0.85.
09 8413 - AP-2 FIXED SOUND ABSORPTIVE PANELS	SOUND ABSORBANT PANELS	COUNCIL CHAMBERS	WOOD VENEER HUB	SLATWOOD PANEL	94.49" X 25.20"	LUXURY AMREICAN WALNUT WITH BLACK FELT	INSTALL PANELS WITH Z BAR SO THAT PANELS ARE REMOVABLE. FABRIC PANELS ARRANGEMENT TO MIMIC LAYOUT SHOWN IN INTERIOR ELEVATIONS. PANEL NRC TO BE 0.85.
09 9123 - INTERIOR PAIN							
09 9123 - P-1 INTERIOR PAINT	GENERAL PAINT	GENERAL U.O.N.	SHERWIN WILLIAMS			ORIGAMI WHITE (SW 7636)	EGGSHELL FINISH
09 9123 - P-2 INTERIOR PAINT	ACCENT PAINT	PRIVATE OFFICE AND ACCENT LOCATIONS - SEE PLANS	SHEWRIN WILLIAMS			PEPPERCORN (SE 7674)	EGGHSELL FINISH
09 9300 - STAINING AND	TRANSPARENT FINISHING						
09 9300 - WS-1 STAINING	WOOD STAIN	FRONT DOOR AND LOBBY EXSITING AND PROPOSED WOOD	INTERIOR WOOD			DARK WALNUT CLASSIC ON CHERRY WOOD (TO MATCH PREVIOUSLY PROPSED FINISH PROVIDED BY CLIENT)	STRIP AND STAIN ALL EXISTING WOOD TO MATCH CLIENT SELECTED WOOD STAIN TO COORDINATE WITH PREVIOUSLY SELECTED FINISHES
AND TRANSPAREN T FINISHING			STAIN				
10 2100 - TOILET COMPA	ARTMENTS		<u> </u>	1	1		
10 2100 - TOILET COMPARTME NTS	TOILET PARTITION	RESTROOMS	SCRANTON BUILDING PRODUCTS	HINEY HIDERS		MIDNIGHT (ORANGE PEEL TEXTURE)	FLOOR MOUNTED AND HEADRAIL BRACED
12 3600 - COUNTERTOP							
12 3600 - COUNTERTOP S	ENGINEERED QUARTZ COUNTER	RESTROOM COUNTERS - SEE PLANS	VIATERA			CARRARA BIANCO	MITER CORNERS
12 3600 - COUNTERTOP SS-1	SOLID SURFACE COUNTER	BREAK AREA	LG HI-MACS			KAMET (L017)	
S			<u>/</u>				

PROCURE/INSTALL NOTES

- LIGHT FIXTURES (EXCPET FOR THE CHANDELIER AND SURFACE MOUNTED LIGHT) - CFCI
- CARPÉT FLOORING BY OTHERS LVT FLOORING - INCLUDING THE STAIRS - BY OTHERS

BASE AND TRNASITIONS BY OTHERS - BY OTHERS NEW REGISTERS AND GRILLS - CONTRACTOR TO REPLACE AND PROVIDE NEW - STYLE TO MATCH EXISTING, WHITE COLOR - CFCI

ABBREVIATIONS

ACT ACOUSTIC CEILING TILE GWB GYPSUM BOARD, PAINT FINISH.

FINISH

FIBER REINFORCED PANEL MANUFACTURER FINISHED PT PAINT

FLOORS

CONC EXPOSED CONCRETE, CLEAR SEAL FINISH.

CERAMIC TILE LUXURY VINYL TILE LVT

CT CERAMIC TILE, 6" COVED UNGLAZED FINISH. RUBBER BASE

CEILING

OPEN OPEN TO ABOVE

CARPET TILES, TRANSITION STRIPS AT EXPOSED EDGES.

PORCELAIN TILE

VTP VINYL TACKABLE PANEL

CB CEMENT BOARD GWB GYPSUM BOARD

SIGNAGE LEGEND

A DOOR-MOUNTED SIGN WITH PICTOGRAM

B RESTROOM WALL SIGN WITH ISA PICTOGRAM

X ILLUMINATED EXIT SIGN

FINISH REQUIREMENTS

PER 2022 CBC 803.13 INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO 2022 CBC SEC. 803 FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (CBC 2022 TABLE 803.13)

DEGREE OF FIRE PROTECTION: SPRINKLERED

GROUP	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	В	В	С
A-3,A-4,A-5	В	В	С
B,E,M,R-1	В	С	С
R-2	С	С	С
R-2.1	В	С	С
R-2.2	С	С	С
R-3, R-3.1	С	С	С
S	С	C	C

CLASSIFICATIONS

- CLASS A: FLAME SPREAD INDEX = 0-25
- SMOKE DEVELOPED INDEX = 0-450 FLAME SPREAD INDEX = 76-200 SMOKE DEVELOPED INDEX = 0-450 FLAME SPREAD INDEX = 26-75 SMOKE DEVELOPED INDEX = 0-450

FINISH LEGEND

FLOORS SEE A-505 FOR ADDITIONAL INFORMATION

NEW LVT (BY OTHERS) NEW CARPET TILE (BY OTHERS)

NEW FLOOR TILE

STAINLESS STEEL CORNER GUARD

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

55

Щ

HEDULE

SC

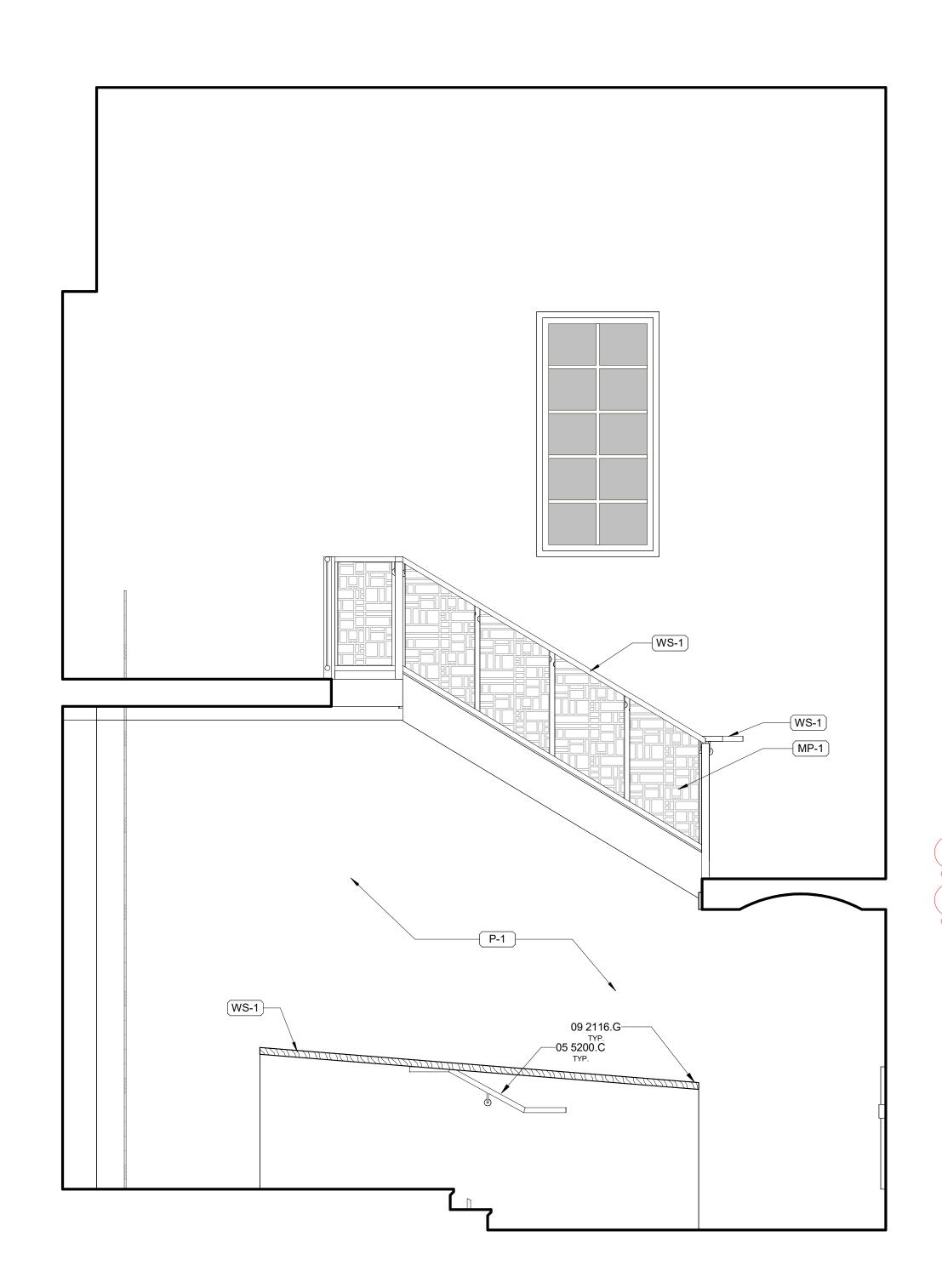
FINISH SIGN NO. REVISION DATE 1 BID ADDENDUM 1 10/11/24

21

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK 09/27/2024

PROJECT NUMBER 3090-01-CU23

26 5100.G WS-1 WS-1



E

INT. ELEVS. GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS.
 REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL
- EQUIPMENT.

 3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.

 4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND
- FIXTURES OCCUR.
 5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH
- ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
- 6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
- 7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE
- 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND COLOR SELECTIONS.



RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

KEYNOTES

WOOD HANDRAIL. STAIN TO MATCH ADJACENT WOOD TOP FINISH. WOOD WALL CAP FINISH. ARCHITECT TO SELECT SATIN AND FINISH

NEW PENDANT LIGHT FIXTURE - SAVEA 9 LIGHT UNIQUE CHANDELIER LARGE LONG CLUSTER PENDANT. OWNER PROVIDED, CONTRACTOR INSTALLED.

LOBB 90755 CITY HALL

DERNIZATION

Ve, Signal Hill

ELEV

INTERIOR

NO.	REVISION	DATE
1	BID ADDENDUM 1	10/11/24

2175

PROJECT MANAGER				
JP				
DRAWN BY	CHECKED BY			
SD, DDA, AK	JP			
DATE				
00/27/2024				

A-511

09/27/2024 PROJECT NUMBER 3090-01-CU23

BID SET

(N)

MAIN LOBBY

INT. ELEVS. GENERAL NOTES REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL

- EQUIPMENT.

 3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.

 4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND

 - FIXTURES OCCUR.

 5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
 - 6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
 - 7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND

COLOR SELECTIONS.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

KEYNOTES

INDIVIDUAL METAL LETTERS. MOUNTING TYPE 2. REFER TO DETAIL 14/AS-920 NEW HAWS RIVIVE HYDRATION STATION RECESSED BOTTLE WATER FILLER MODEL 2000HS.

LOBB 90755 2175

ELEVATIONS

INTERIOR

NO.	REVISION	DATE
1	BID ADDENDUM 1	10/11/24
$\overline{\ \ }$		

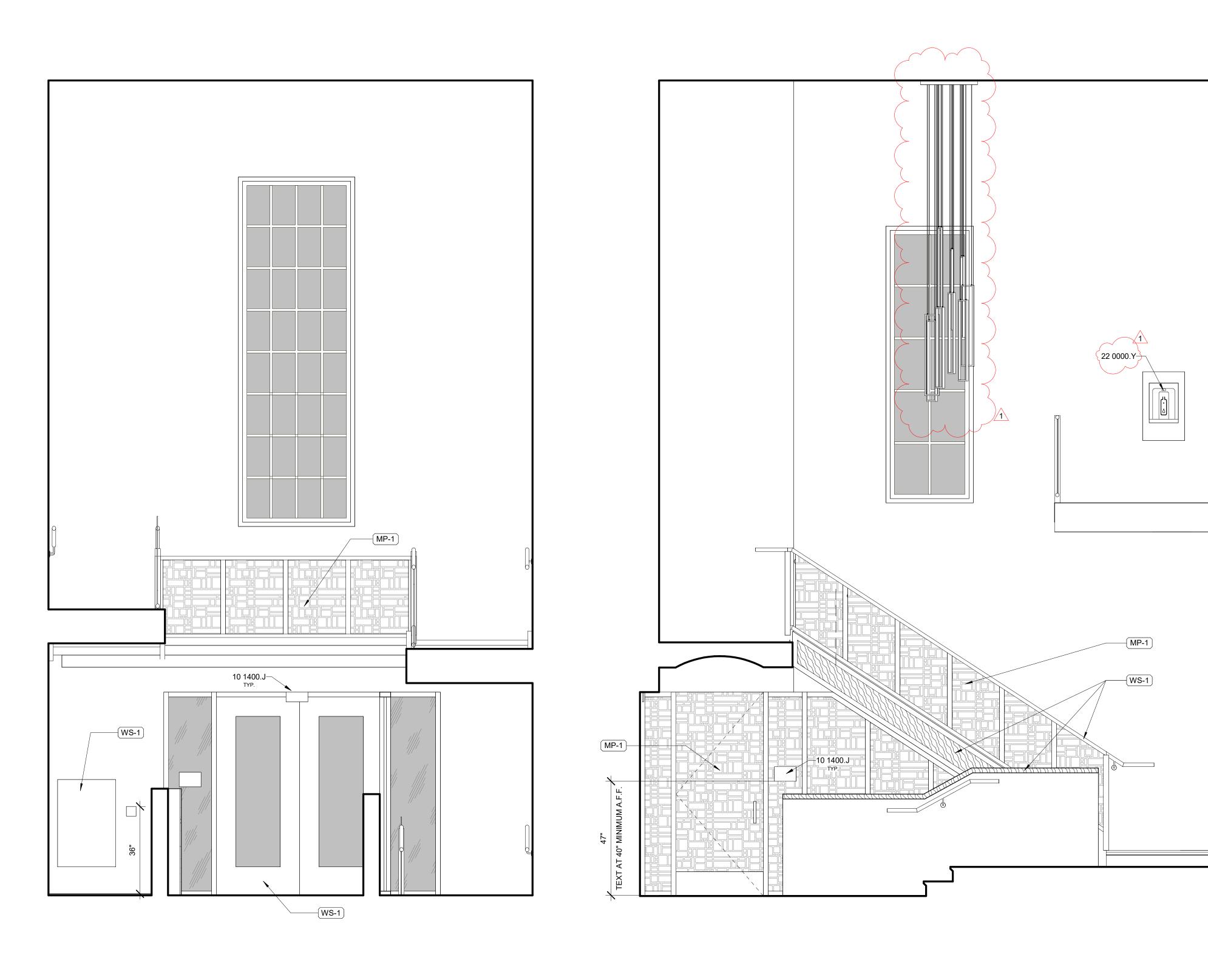
PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 PROJECT NUMBER

3090-01-CU23

BID SET

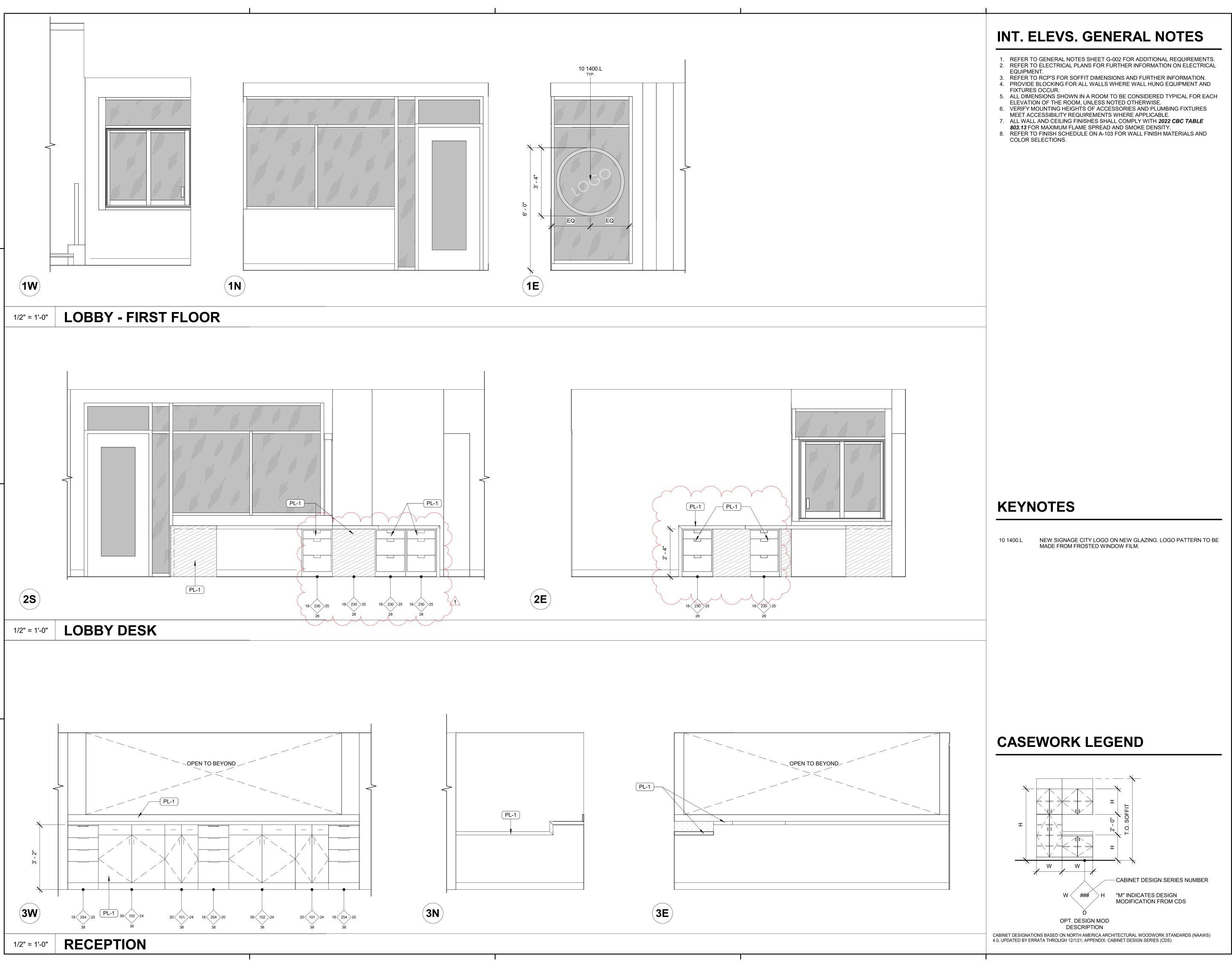
A-512



W

S

ENTRY WAY - SECOND FLOOR



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

NO. REVISION DATE 1\ BID ADDENDUM 1 10/11/24

2175

SIGNAL

INTERIOR

90755

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 PROJECT NUMBER 3090-01-CU23

A-513



WOMEN'S RESTROOM - FIRST FLOOR

INT. ELEVS. GENERAL NOTES

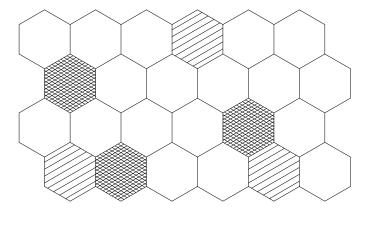
- REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND
 - FIXTURES OCCUR. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH
 - ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES
 - MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE
- 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY. 8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND
- COLOR SELECTIONS.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

RESTROOM TILE PATTERN TYP.







55

AGENCY

KEYNOTES

SCHULTER JOLLY TRIM AT EXPOSED TILE EDGES BOBRICK B-2621 SURFACE MOUNTED PAPER TOWEL DISPENSER NEW BOBRICK B-6806 SERIES 36" AND 42" GRAB BAR. NEW BOBRICK AUTOMATIC WALL-MOUNTED SOAP DISPENSER

BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE. BOBRICK SURFACE-MOUNTED DISPENSER AND UTILITY SHELF

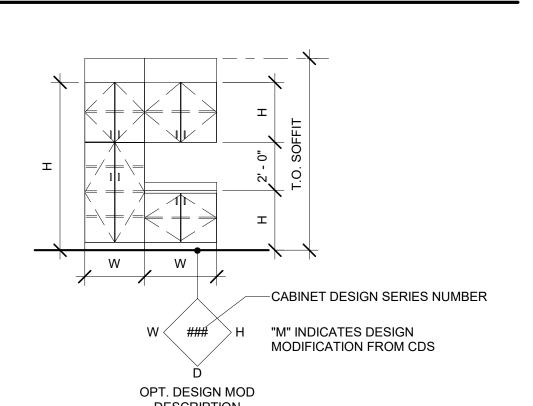
NEW WHIRLPOOL 34" TALL RANGE WEE515SALS; CONTRACTOR FURNISHED AND INSTALLED. COORDINATE INSTALLATION WITH OWNER. ARCHITECT TO PROVIDE CLIENT APPROVED SPEC. SAMSUNG NK30B3500US 30" UNDER CABINET RANGE HOOD

NEW MOEN SMYTH 5770 SINGLE-HANDLE HIGH ARC PULLDOWN BAR KITCHEN FAUCET. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS. NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICINECY WALL

HUNG URINAL. WATERLINE TO BE UPDATED. NEW BLANCO PRECIS UNDERMOUNT ADA SINK. CONTRACTOR FURNISHED, CONTRACTOR INSTALLED. ARCHITECT TO SELECT FROM FULL RANGE OF FINISH OPTIONS

WALL MOUNTED LAVATORY VANITY SCONCE. SONNEMAN THIN-LINE 2-SIDED LED WALL BAR. ARCHITECT TO SELECT FROM STANDARD RANGE OF FINISH OPTIONS.

CASEWORK LEGEND



DESCRIPTION CABINET DESIGNATIONS BASED ON NORTH AMERICA ARCHITECTURAL WOODWORK STANDARDS (NAAWS) 4.0, UPDATED BY ERRATA THROUGH 12/1/21; APPENDIX: CABINET DESIGN SERIES (CDS)

SIGN NO. REVISION

 \sim

INTERIO

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 **PROJECT NUMBER** 3090-01-CU23

SHEET

9E 9N) −26 5100.H 26 5100.H---10 2813.D QTZ-1 (9W) (9S)22 0000.V— MEN'S RESTROOM - SECOND FLOOR TP-1 10 2813.D 10N 22 0000.R 10W WOMEN'S RESTROOM - SECOND FLOOR

INT. ELEVS. GENERAL NOTES

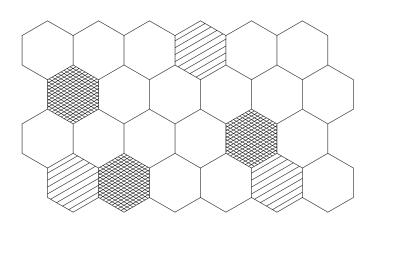
- 1. REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND
- 5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
- 6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
- ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND
- COLOR SELECTIONS.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

RESTROOM TILE PATTERN TYP.





AGENCY

KEYNOTES

BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE.

NEW TOTO COMMERCIALLY RATED FLOOR MOUNTED ULTRA HIGHT EFFICIENCY TOILET. INSTALL PER MANUFACTURERS INSTRUCTIONS.

NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICINECY WALL HUNG URINAL. WATERLINE TO BE UPDATED. WALL MOUNTED LAVATORY VANITY SCONCE. SONNEMAN THIN-LINE 2-SIDED LED WALL BAR. ARCHITECT TO SELECT FROM STANDARD RANGE OF FINISH OPTIONS.

90755 LOBB 2175

ELEV,

INTERIOR

NO.	REVISION	DATE
\wedge		

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 PROJECT NUMBER

3090-01-CU23

A-515



INT. ELEVS. GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS. 2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL
- REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND
- 5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
- 6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES
- MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE
- 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY. 8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND
- COLOR SELECTIONS.



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

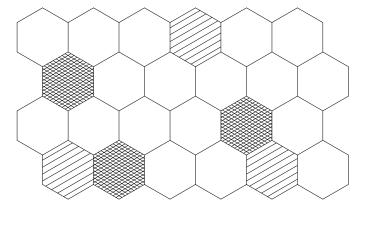
AGENCY

90755

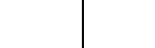
ELE

INTERIO

RESTROOM TILE PATTERN TYP.







BOBRICK B-2621 SURFACE MOUNTED PAPER TOWEL DISPENSER NEW BOBRICK AUTOMATIC WALL-MOUNTED SOAP DISPENSER

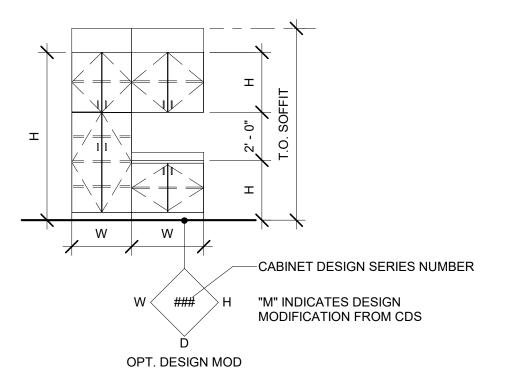
BACK LIT MIRROR. BASE BID TO BE BOBRICK B-167 BACKLIT LED MIRROR - COMMERCIAL GRADE. NEW MOEN DARTMOOR LAVATORY FAUCET. ARCHITECT TO SELECT

FROM FULL RANGE OF FINISH OPTIONS NEW KOHLER SOHO K-2053-N SINK WITH MATCHING VITRIOUS CHINA PIPE COVER AND UNDERMOUNT. ARCHITECT TO PROVIDE

CLIENT APPROVED SPEC. NEW TOTO COMMERCIALLY RATED FLOOR MOUNTED ULTRA HIGHT EFFICIENCY TOILET. INSTALL PER MANUFACTURERS

NEW TOTO COMMERCIAL WASHOUT ULTRA HIGH-EFFICINECY WALL HUNG URINAL. WATERLINE TO BE UPDATED.

EXHAUST FAN. ELECTRICAL TO TIE INTO LIGHTSWITCH WALL MOUNTED LAVATORY VANITY SCONCE. SONNEMAN THIN-LINE 2-SIDED LED WALL BAR. ARCHITECT TO SELECT FROM STANDARD RANGE OF FINISH OPTIONS.



DESCRIPTION CABINET DESIGNATIONS BASED ON NORTH AMERICA ARCHITECTURAL WOODWORK STANDARDS (NAAWS) 4.0, UPDATED BY ERRATA THROUGH 12/1/21; APPENDIX: CABINET DESIGN SERIES (CDS)

NO.	REVISION	DATE
\triangle		
\triangle		

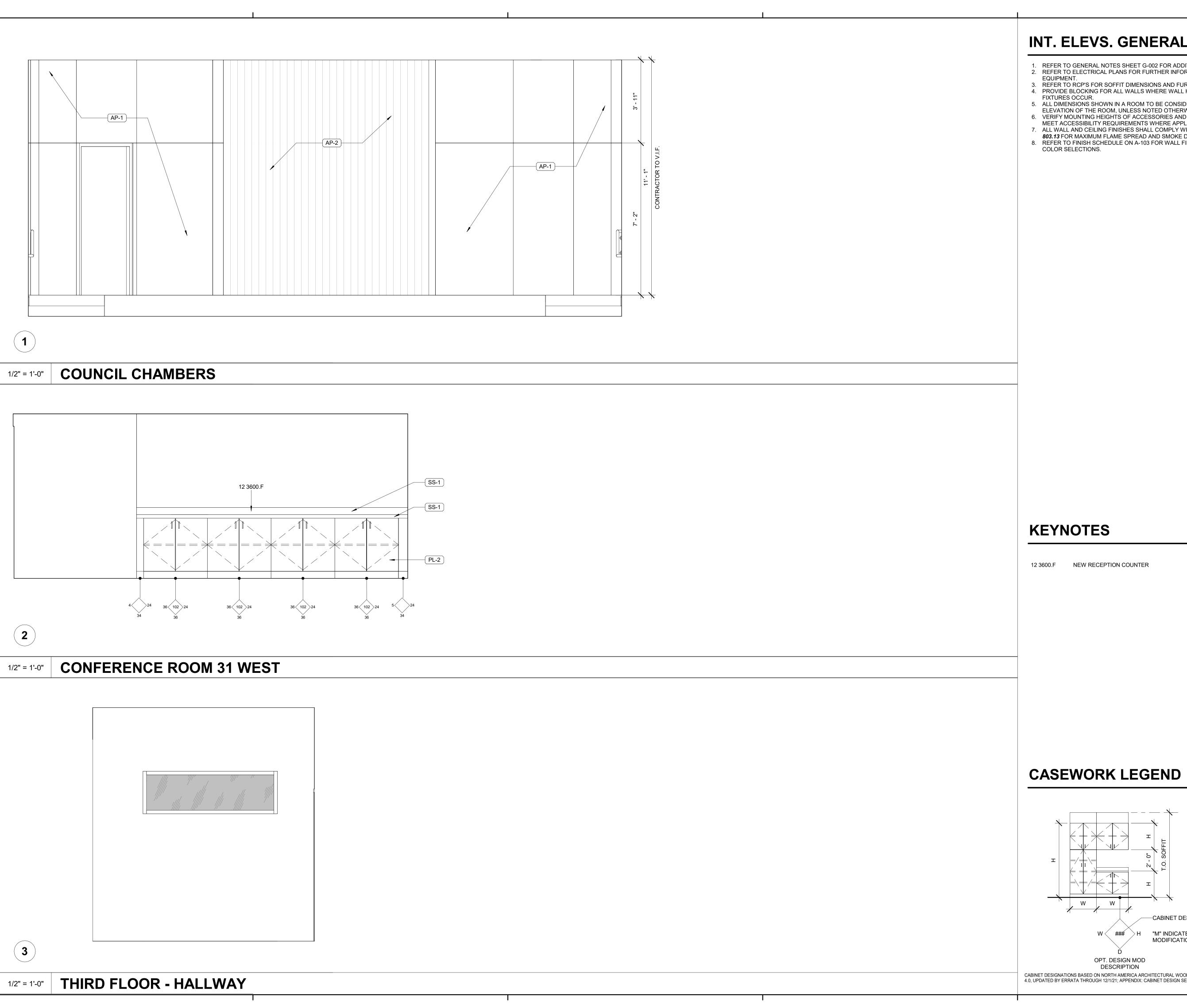
21

SIGN

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 PROJECT NUMBER 3090-01-CU23

SHEET



INT. ELEVS. GENERAL NOTES

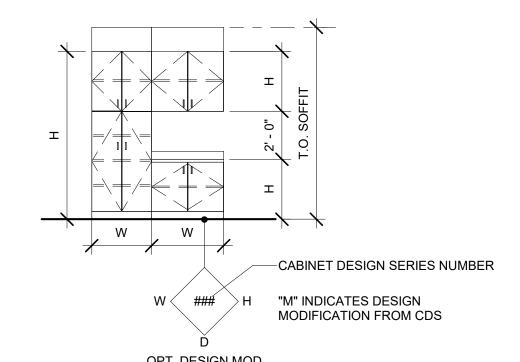
- REFER TO GENERAL NOTES SHEET G-002 FOR ADDITIONAL REQUIREMENTS.
 REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL
- 3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
- 4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND
- 5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH
- ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE. 6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES
- MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
- 7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2022 CBC TABLE
- 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.8. REFER TO FINISH SCHEDULE ON A-103 FOR WALL FINISH MATERIALS AND



RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY



OPT. DESIGN MOD DESCRIPTION

CABINET DESIGNATIONS BASED ON NORTH AMERICA ARCHITECTURAL WOODWORK STANDARDS (NAAWS) 4.0, UPDATED BY ERRATA THROUGH 12/1/21; APPENDIX: CABINET DESIGN SERIES (CDS)

INTERIOR 2175 NO. REVISION

90755

PROJECT MANAGER DRAWN BY CHECKED BY SD, DDA, AK

09/27/2024 PROJECT NUMBER 3090-01-CU23

BID

A-517

SAFETY EGRESS BARRIER LEGEND 2 LOBBY STOREFRONT A-601 SCALE: 1/2" = 1'-0" **DOOR LEGEND** TYPE 2A TYPE 1A TYPE 1D TYPE 2D EQ A-902/ A-902

PER SCHEDULE

FRAME TYPES

PER SCHED.

TYPE 3A

DOOR TYPES

T = TEMPERED GLAZINĠ

WINDOW LEGEND

F = FROSTED GLAZING (WHERE OCCURS - REFER TO SCHEDULE)

DOOR SCHEDULE

-			SIZE			DOOR		DAME				DETAIL		
			SIZE		TYP	DOOK	Г	RAME	FIRE	HARDWARE		DETAIL		+
	NO.	WIDTH	HEIGHT	THICKNESS	E	MAT'L	TYPE	MAT'L	RATING	GROUP	SILL	JAMB	HEAD	REMARKS
-	101	6' - 0"	7' - 0"	1 3/4"	2A	(E) WOOD	F1	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
	102	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	102a	6' - 0"	7' - 0"	1 3/4"	2A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	103	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	103a	3' - 0"	7' - 0"	1 3/4"	1D	(N) WOOD	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
	104	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	105	3' - 0"	7' - 0"	1 3/4"	1A	(N) WOOD	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
	106	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	107	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	108	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	108a	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
İ	109	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	109a	6' - 0"	7' - 0"	1 3/4"	2A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	110	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
•	111	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	112	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
_	113	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	114	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	115	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	116	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	117	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	118	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	201	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			14/A-901	23/A-901	23/A-901	7, 10
	202	5' - 8 1/2"	6' - 10"	1 3/4"	2D	` '	S	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
	203	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
-	204	5' - 4"	7' - 0"	1 3/4"	2D	` '	F1	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
	204a	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	204b	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	204c	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	205	3' - 0"	7' - 0"	1 3/4"		(E) WOOD	1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	206	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD		(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	207	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	210	3' - 0"	7' - 0"	1 3/4"	1A	` ,	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	211	5' - 8"	6' - 8"	2"	3A	` '	F3	(N) WOOD			11/A-902	12/A-902	11/A-902	8, 9
l	212	5' - 8"	6' - 8"	2"	3A	` '	F3	(N) WOOD			11/A-902	12/A-902	11/A-902	8, 9
	213	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	214	3' - 0"	7' - 0"	1 3/4"	1A	(E) WOOD		(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	215	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	216	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	217	3' - 0"	7' - 0"	1 3/4"	1A	• •	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	218	3' - 0"	7' - 0"	1 3/4"	1A	, ,	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
-	219	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	219a	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	220	3' - 0"	7' - 0"	1 3/4"	1A	, ,	F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	221	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			24/A-901	24/A-901	23/A-901	7, 10
-	222	3' - 0"	7' - 0"	1 3/4"	1D	(N) WOOD		(N) WOOD			21/A-901	21/A-901	21/A-901	8, 9
	301	3' - 0"	7' - 0"	1 3/4"	1D	(N) GLASS		(N) WOOD			14/A-901	21/A-901	21/A-901	8, 9
	302	3' - 0"	7' - 0"	1 3/4"	1D	(N) GLASS		(N) WOOD			14/A-901	21/A-901	21/A-901	8, 9
	303	3' - 0"	7' - 0"	1 3/4"	1A	(N) WOOD		(N) WOOD			14/A-901	21/A-901	21/A-901	8, 10
_	304	3' - 0"	7' - 0"	1 3/4"	1D	(N) WOOD		(N) WOOD			14/A-901	21/A-901	21/A-901	8, 10, 13
	305	3' - 0"	7' - 0"	1 3/4"	1A	(N) WOOD		(N) WOOD			14/A-901	21/A-901	21/A-901	8, 10
	306	3' - 0"	7' - 0"	1 3/4"	1A		F1	(E) WOOD			21/A-901	21/A-901	21/A-901	7, 9
	307	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			21/A-901 21/A-901	21/A-901	21/A-901 21/A-901	7, 9
_	307	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(N) WOOD			21/A-901 21/A-901	21/A-901 21/A-901	21/A-901 21/A-901	7, 9
	308	3' - 0"	7' - 0"	1 3/4"	1A	` '	F1	(E) WOOD			24/A-901	23/A-901	23/A-901	7, 10
	310	2' - 2"	7' - 0"	1 3/4"	1A	(E) WOOD		(E) WOOD			21/A-901	21/A-901	21/A-901	7, 10
	G201	3' - 0"	7' - 0"	1 0/-1	1A	(N) METAL	'	(N) METAL			_ 1,7 (00 1	42/A-901	2 1// (00 1	12
l	0201	. .			., \	(. · ·) · · · · · · · · · ·		\. · · / · · · · · · · · · · · · · · · ·			<u> </u>	1.2,7 (00)	1	·-

DOOR GENERAL NOTES

- REFER TO FLOOR PLANS FOR DOOR LOCATIONS. 2. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES WITH DOOR MANUFACTURER SPECIFICATIONS PRIOR TO FABRICATION OF ROUGH
- 3. CONTRACTOR TO VERIFY ACTUAL DOOR SIZES TO FIT FINISH OPENING
- PRIOR TO FABRICATION OF DOOR AND FINISH OPENING. REFER TO DOOR TYPES LEGEND FOR GLAZING.
- REFER TO T24 REPORT FOR GLAZING ENERGY REQUIREMENTS INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS ALL DOORS TO RECEIVE NEW HARDWARE. 8. ALL EXTERIOR WOOD DOORS ARE TO BE STAINED.

DOOR REMARKS

- EGRESS DOOR.
- 2. EQUIPPED W/PANIC HARDWARE. 3. INCLUDES SAFETY GLAZING.
- 4. FIRE-RATED DOOR ASSEMBLY. VISION PANELS OR LITES TO RECEIVE WIRE
- 5. LOUVERED DOOR.
- KICK-PLATE PROVIDED.
- 7. (E) DOOR TO REMAIN 8. (N) DOOR
- 9. DOOR TO BE PAINTED SHERWIN WILLIAMS
- 10. DOOR TO BE RESTAINED VARATHANE DARK WALNUT CLASSIC ON CHERRY
- 11. (N) DOOR HARDWARE 12. INTERIOR STEEL GATE 13. FROSTED GLAZING.

DOOR MATERIAL LEGEND

1.	CL	CHAIN LINK
2.	HM	HOLLOW METAL
3.	MP	METAL PICKET
4.	STL	STEEL
5.	WD	WOOD
6.	T	SAFETY GLAZING
7	CI	CLACC

DOOR SIGN TYPES

IES ILLUMINATED EXIT SIGN PER DETAIL: 22 / A-912 RA RESTRICTED ACCESS SIGN. PER DETAIL: 32 / A-912 X TACTILE EXIT SIGN PER DETAIL: 32 / A-912

DOOR HARDWARE NOTES

- 1. ALL DOORS TO RECIEVE NEW HARDWARE. HARDWARE TO BE BY
- ALLEGION AS NOTED IN HARDWARE SCHEDULE. 2. HARDWARE ON EXISTING EXTIOR DOORS TO MATCH EXISTING WITH ANTIQUE BRASS FINISH.
- 3. LEVER DESIGN ON INTERIOR DOORS TO BE SCHLAGE L SERIES -LONGITUDE LEVERS. ARCHITECT TO SELECT FROM FULL RANGE OF
- FINISH OPTIONS. 4. EXISTING ENTRY CARD READERS TO REMAIN IN PLACE.
- 5. ENTRY TO INTERIOR SUITES/BACK OF HOUSE AREAS TO RECIEVE NEW CARD READERS. REFER TO DOOR REMARKS AND HARDWARE SCHEDULE.
- 6. PRIVATE OFFICES TO RECIEVE NON ELECTRIC MORTISE STYLE LOCKS BY

TRIM. REFER TO DOOR REMARKS AND HARDWARE SCHEDULE.

ALLEGION. REFER TO DOOR REMARKS AND HARDWARE SCHEDULE. 7. SINGLE OCCUPANCY RESTROOMS TO RECIEVE ALLEGION PRIVACY MORTISE STYLE LOCKS BY ALLEGION WITH OCCUPIED/VACANT INDICATOR

WINDOW GENERAL NOTES

- 1. REFER TO GENERAL NOTES ON SHEET G-101 FOR ADDITIONAL REQUIREMENTS
- REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
- CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES WITH WINDOW MANUFACTURER SPECIFICATIONS PRIOR TO FABRICATION OF ROUGH OPENINGS.
- CONTRACTOR TO VERIFY ACTUAL WINDOW SIZES TO FIT FINISH OPENING PRIOR TO FABRICATION OF WINDOW AND FINISH OPENING.
- HEAD HEIGHT MEASURED FROM FF UNLESS NOTED OTHERWISE. REFER TO ENERGY COMPLIANCE REPORTS FOR U-FACTOR, SHGC AND
- ADDITIONAL WINDOW REQUIREMENTS.
- ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
- 8. PROVIDE SHOP DRAWINGS FOR ALL WINDOW UNITS 9. REFER TO WINDOW TYPES LEGEND FOR GLAZING.
- 10. REFER TO WINDOW SCHEDULE AND WINDOW TYPES LEGEND FOR FURTHER INFORMATION.
- 11. STOREFRONT SECTIONS ARE 2" AND CURTAINWALL SECTIONS ARE 2-1/2", UNO. REFER TO STOREFRONT TYPES LEGEND FOR FURTHER INFORMATION. 12. WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE
- CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
- 13. SAFETY GLAZING NOTATED WITH "T" 14. ALL WINDOWS IN FIRST FLOOR TO REMAIN.

WINDOW REMARKS

- 1. CONTRACTOR TO VERIFY ALL MEASUREMENTS OF WINDOWS IN FIELD. EXISTING WINDOW TO REMAIN.
- INCLUDES SAFETY GLAZING.
- 4. EGRESS WINDOW. MUST MEET CBC REQUIREMENTS. 5. PROVIDE FROSTED GLAZING AS SHOWN IN WINDOW TYPES WHERE
- DROPPED CEILING EXTENDS BELOW WINDOW LINE.
- 6. PROVIDE FROSTED GLAZING FOR WINDOW HIDDEN BEHIND ENCLOSED SPACES OR INTO RESTROOMS.

design

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION

CONSULTANT

AGENCY

90755 OBB CITY H, ERNIZA ve, Signal

2175

NO.	REVISION	DATE
1	BID ADDENDUM 1	10/11/24

PROJECT MANAGER JP						
DRAWN BY	CHECKED BY					
SD, DDA, AK	JP					
DATE						
09/27/2024						

PROJECT NUMBER 3090-01-CU23

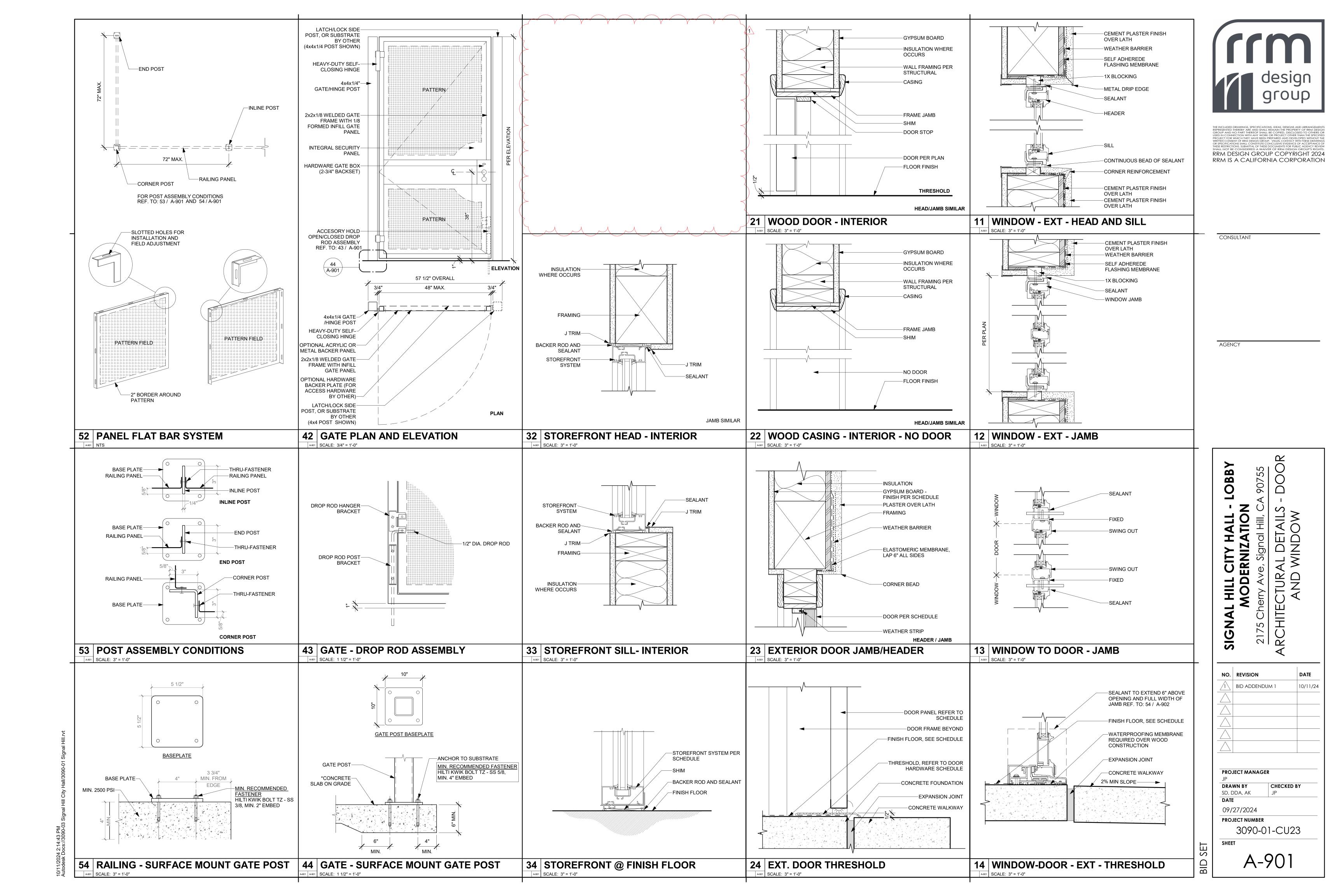
BID

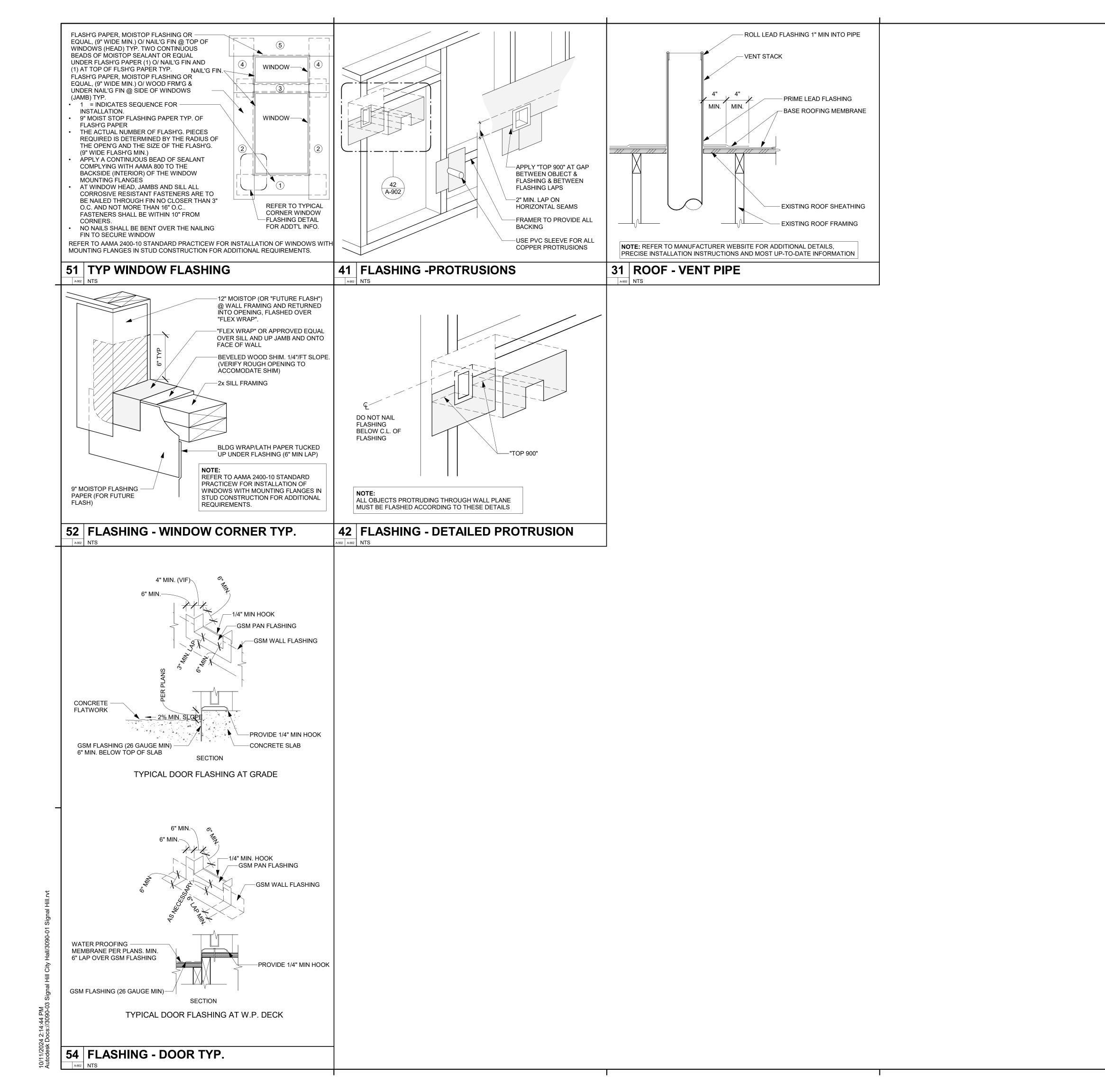
SIGN

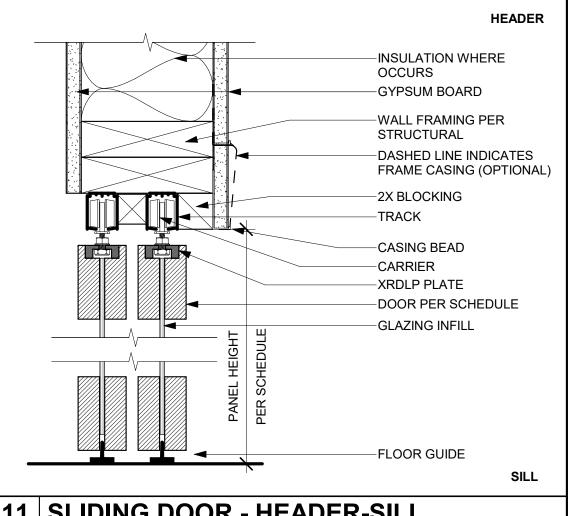
WINDOW SCHEDULE

SCHED.

TAG	TYPE	MATERIAL	HEIGHT	WIDTH	REMARKS
2.1 SECOND F	LOOR				
201	D1	STEEL	8' - 4"	4' - 9"	1
202	D1	STEEL	8' - 4"	4' - 9"	1,5
203	D1	STEEL	8' - 4"	4' - 9"	1,5
204	D1	STEEL	8' - 4"	4' - 9"	1,5
205	D	STEEL	7' - 8"	4' - 9"	1,5
206	А	STEEL	4' - 3 3/4"	3' - 1 1/2"	1,6
207	D	STEEL	8' - 6"	6' - 0"	1,5
208	D	STEEL	8' - 6"	6' - 0"	1,5
209	D	STEEL	8' - 6"	6' - 0"	1,5
210	D1	STEEL	8' - 6"	4' - 9"	1,5
211	D1	STEEL	8' - 6"	4' - 9"	1,5
212	D1	STEEL	8' - 6"	4' - 9"	1,5
213	D2	STEEL	10' - 6"	6' - 0"	1,6
214	D2	STEEL	10' - 6"	6' - 0"	1
215	D2	STEEL	10' - 6"	6' - 0"	1
3.0 THIRD FLO	OOR	•		•	
301	Н	STEEL	12' - 0"	4' - 0"	1
302	G	STEEL	9' - 6"	3' - 0"	1
303	D2	STEEL	6' - 1 1/2"	4' - 1 1/2"	1
304	D3	STEEL	4' - 7 1/2"	5' - 2"	1
305	D3	STEEL	4' - 7 1/2"	5' - 2"	1
306	D3	STEEL	4' - 7 1/2"	5' - 2"	1
307	D3	STEEL	4' - 7 1/2"	5' - 2"	1
308	D3	STEEL	4' - 7 1/2"	5' - 2"	1
309	D3	STEEL	4' - 7 1/2"	5' - 2"	1
310	D3	STEEL	4' - 7 1/2"	5' - 2"	1
311	В	STEEL	4' - 7 1/2"	3' - 1"	1
312	В	STEEL	4' - 7 1/2"	3' - 1"	1
313	В	STEEL	4' - 7 1/2"	3' - 1"	1
314	В	STEEL	4' - 7 1/2"	3' - 1"	1
315	В	STEEL	4' - 7 1/2"	3' - 1"	1
316	А	STEEL	4' - 3 3/4"	3' - 1 1/2"	1
317	Α	STEEL	4' - 3 3/4"	3' - 1 1/2"	1
318	Α	STEEL	4' - 3 3/4"	3' - 1 1/2"	1
319	G	STEEL	6' - 0"	3' - 0"	1
Grand total: 34	•	•	•	•	•



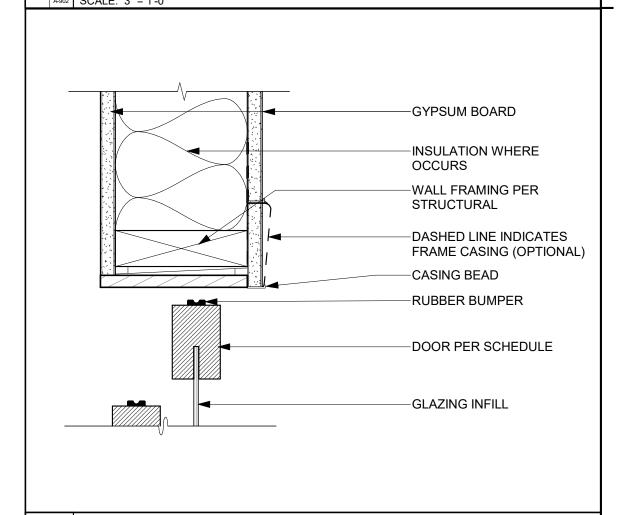






12 SLIDING DOOR - JAMB

A-902 SCALE: 3" = 1'-0"



rrmdesign.com | (805) 543-1794

RRM DESIGN GROUP COPYRIGHT 2024 RRM IS A CALIFORNIA CORPORATION



CONSULTANT

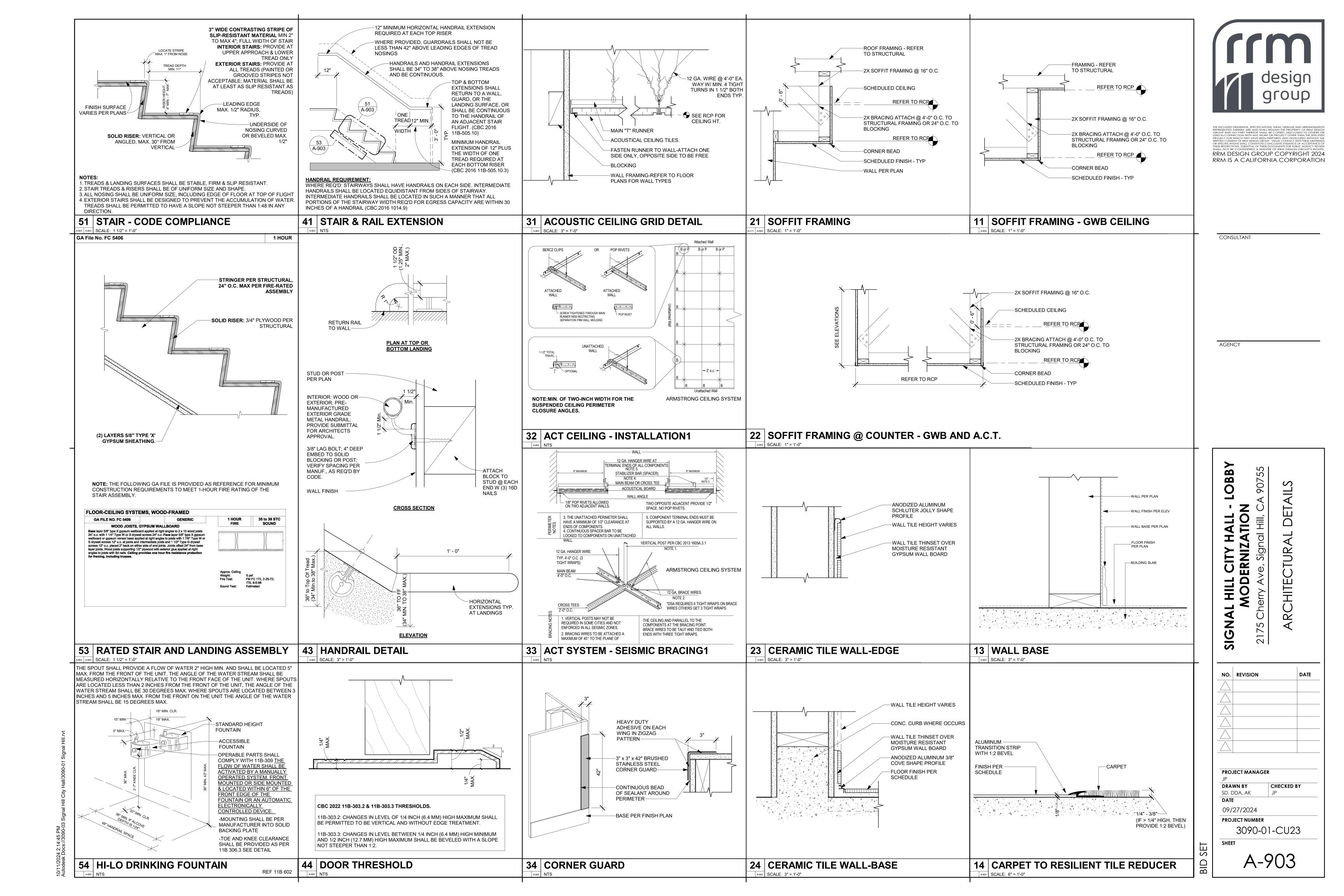
AGENCY

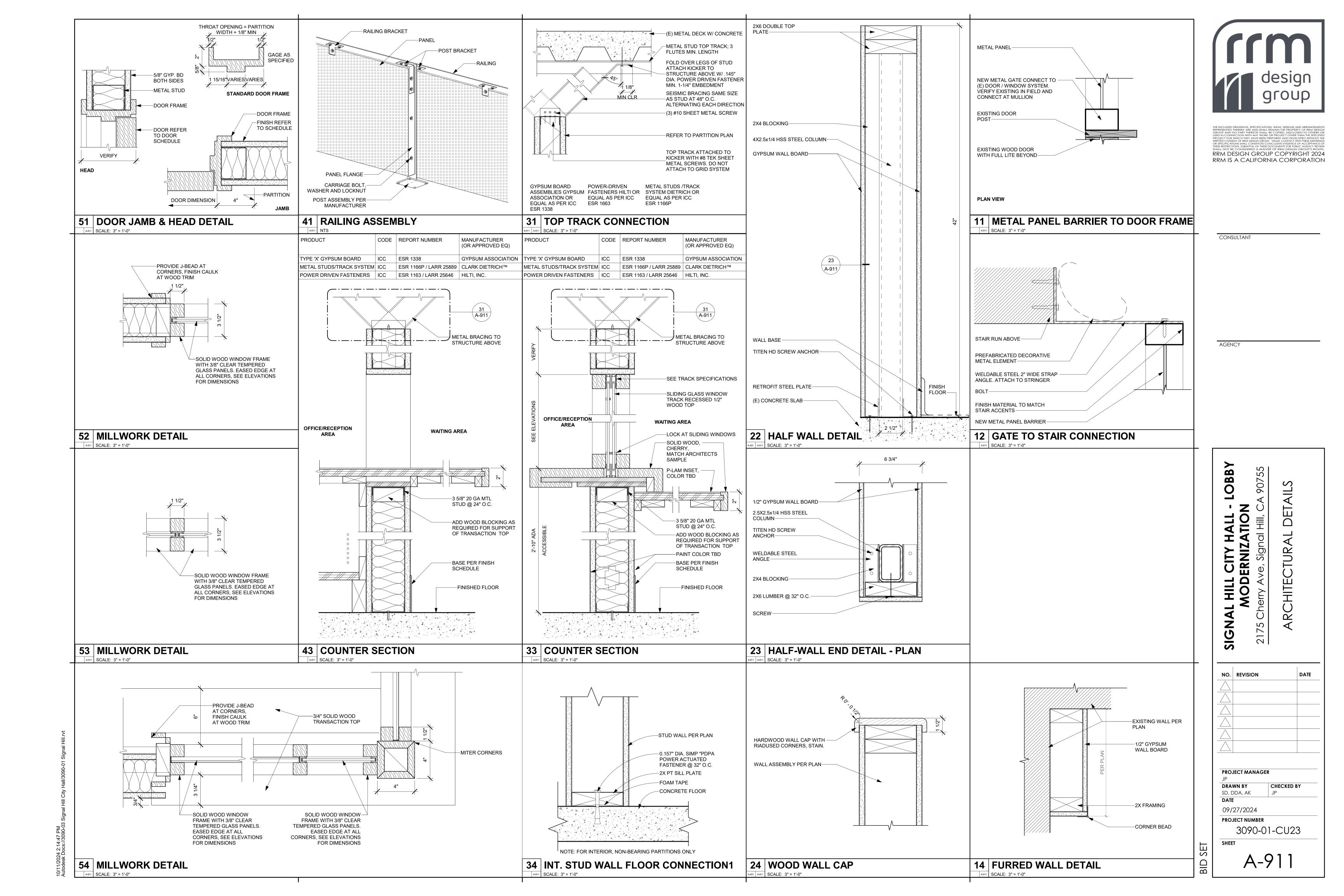
90755 OBB CTUR/ AND

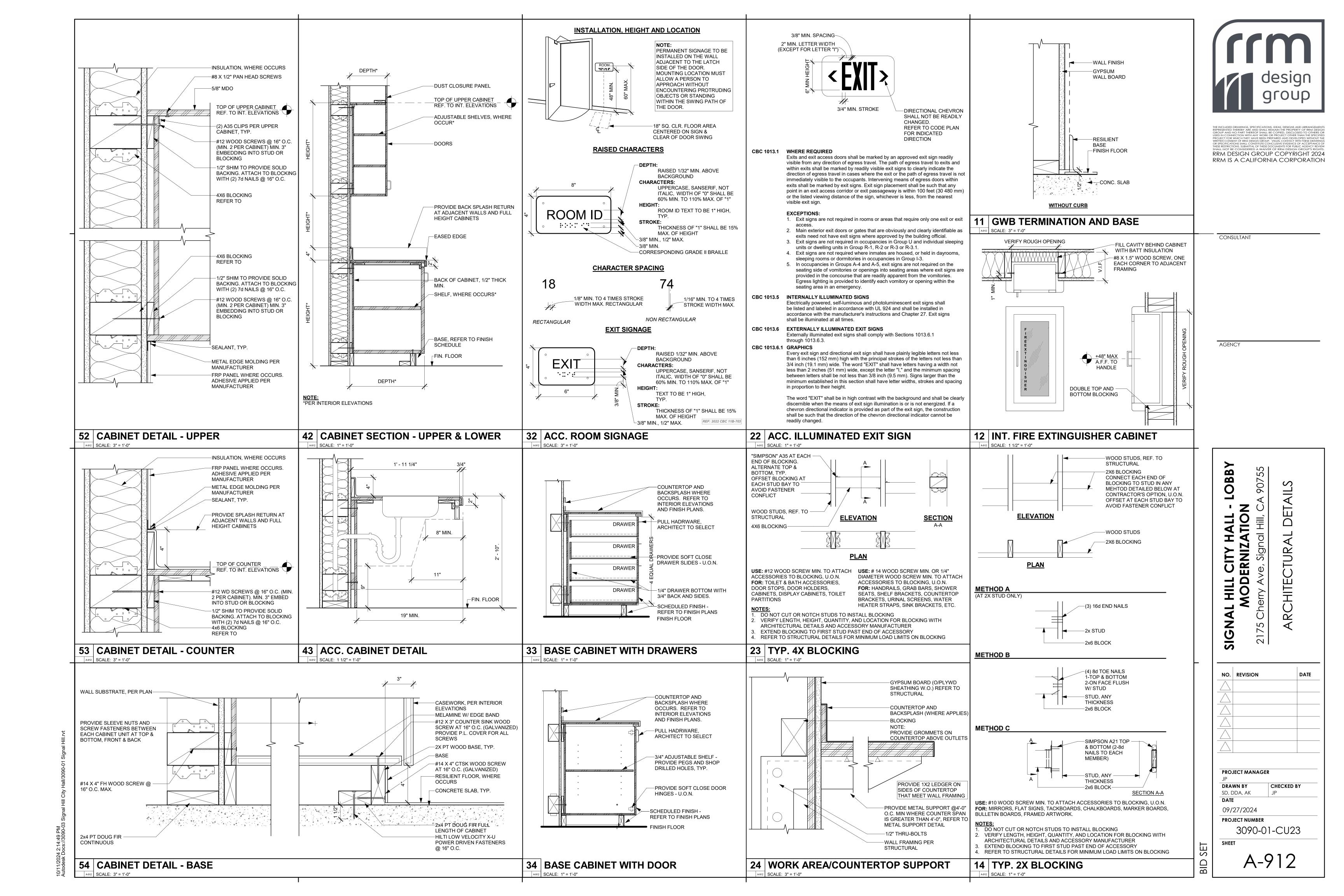
SIGN 2175 RCH NO. REVISION DATE **PROJECT MANAGER**

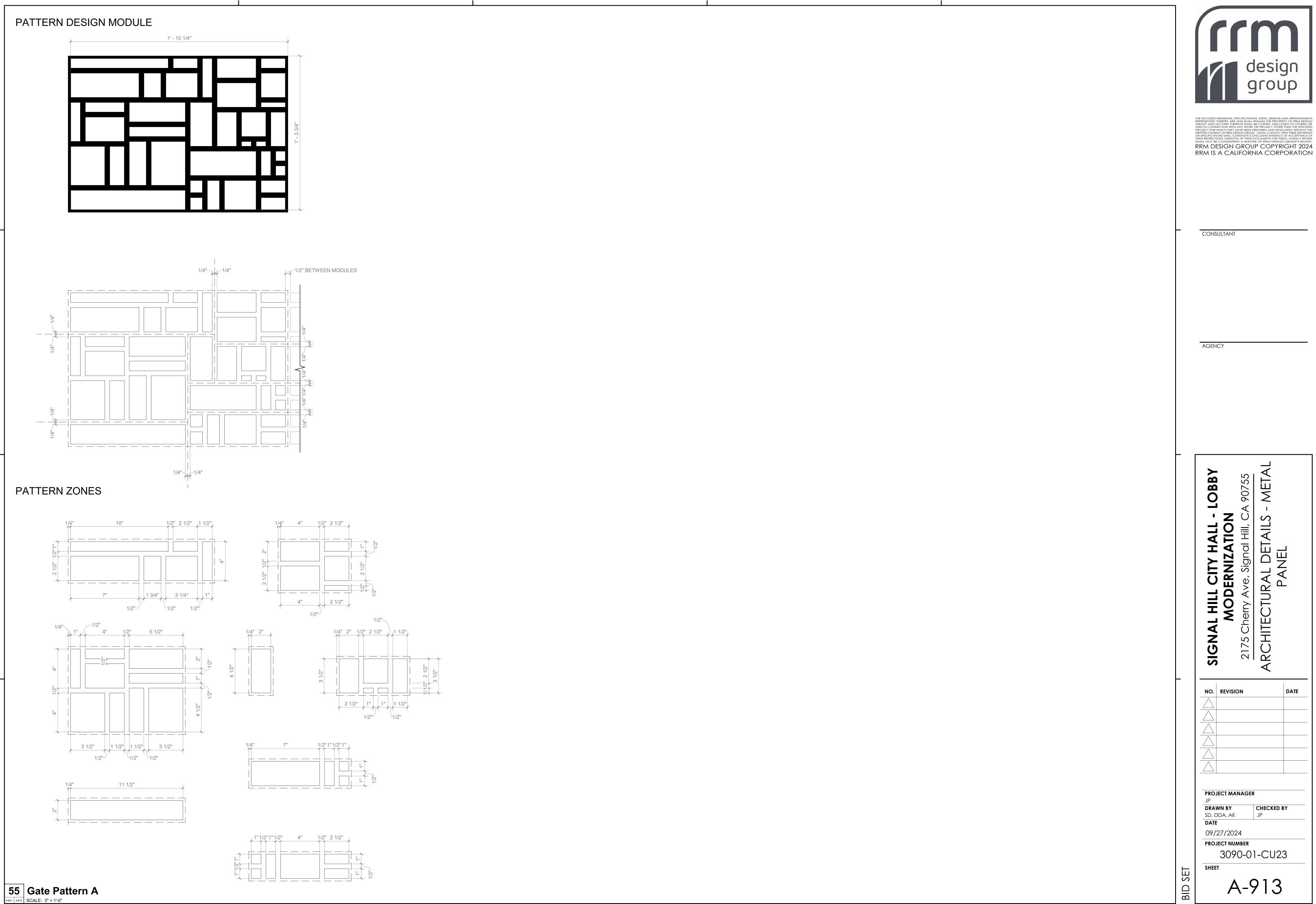
DRAWN BY CHECKED BY SD, DDA, AK 09/27/2024

PROJECT NUMBER 3090-01-CU23









A-913

A 90755

DATE

CHECKED BY